

MEETING NOTICE AND AGENDA

MANSFIELD PLANNING AND ZONING COMMISSION

Monday, November 16, 2015 ■ 7:00 PM

Audrey P. Beck Municipal Building ■ 4 South Eagleville Road ■ Council Chamber

1. Call to Order

2. Roll Call

3. Organizational Meeting

- a. **Introduction of new member: Charles Ausburger**
- b. **Election of Officers**
 - Chairman
 - Vice Chairman
 - Secretary
- c. **Committee Appointments**
Memo from Director of Planning and Development
- d. **Review of By-Laws**
Memo from Director of Planning and Development

4. Approval of Minutes

- a. October 14, 2015 Field Trip
- b. November 2, 2015 Regular Meeting

5. Zoning Agent's Report

6. Public Hearings

- a. **7:05 PM**
Live Music Permit Renewals (PZC #895)
Huskies Restaurant, 28 King Hill Rd., (file #780-2); Pub 32, 847 Stafford Rd., (file #595); Ted's Restaurant, 16 King Hill Rd., (file #1107)
Memo from Zoning Agent
- b. **7:10 PM**
Special Permit Application, Efficiency Unit, 650 Mansfield City Road; Lance Klase, PZC File#1337
Memo from Zoning Agent

7. Old Business

- a. **Live Music Permit Renewals (PZC #895)**
Huskies Restaurant, 28 King Hill Rd., (file #780-2); Pub 32, 847 Stafford Rd., (file #595); Ted's Restaurant, 16 King Hill Rd., (file #1107)
- b. **Special Permit Application, Efficiency Unit, 650 Mansfield City Road; Lance Klase, PZC File#1337**
- c. **Other**

Charles Ausburger ■ Binu Chandy ■ JoAnn Goodwin ■ Roswell Hall III ■ Gregory Lewis ■ Kenneth Rawn ■ Bonnie Ryan
Vera Stearns Ward ■ Susan Westa ■ Paul Aho (A) ■ Katherine Holt (A)

8. New Business

- a. **Paideia Request to Modify Approved Plans for Amphitheatre and Exhibit Project, 28 Dog Lane (PZC File #1049-7)**
Memos from Director of Planning and Development, Fire Marshal, Assistant Town Engineer
- b. **Request for Acceptance of Wyllys Farm Road and Partial Release of Bond, Beacon Hill Estates Section II Subdivision, PZC File #1214-3**
Memos from Zoning Agent, Assistant Town Engineer
- c. **Appointment of Deputy Zoning Agents**
Memo from Director of Planning and Development
- d. **2016 Meeting Schedule**
Memo from Director of Planning and Development
- e. **Other**

9. Reports from Officers and Committees

- a. Chairman's Report
- b. Regional Planning Commission
- c. Regulatory Review Committee
- d. Planning and Development Director's Report
- e. Other

10. Communications and Bills

- a. Other

11. Adjournment



Town of Mansfield

Department of Planning and Development

Date: November 12, 2015
To: Planning and Zoning Commission
From: Linda M. Painter, AICP, Director of Planning and Development
Subject: Committee Appointments

The following table identifies current appointments to various town committees. With the beginning of each term, the Commission reviews appointments and makes changes as needed.

Committee	Number of Seats	Current Appointment(s)
Capitol Region Council of Governments Regional Planning Agency	1 member, 1 alternate	Sue Westa Roswell Hall
Four Corners Sewer and Water Advisory Committee	1 member	Ken Rawn
PZC Subcommittee on Infrastructure Needs	Unlimited	Ken Rawn, Kay Holt
Sustainability Committee	1 member	Vera Stearns Ward
Town-University Relations Committee	1 member	Paul Aho
Transportation Advisory Committee (TAC)	2 members	Paul Aho Roswell Hall

Ad Hoc Committee on Rental Housing Regulations and Enforcement

On November 9, 2015, the Town Council created a new Ad Hoc Committee on Rental Housing Regulations and Enforcement. The purposes of the committee are as follows:

- To review existing housing regulations and their enforcement
- To review proposals for additional regulations for the purpose of preserving single-family residential neighborhoods and ensuring the quality of housing available for rental.
- To work with the Planning and Zoning Commission to integrate zoning and housing regulations.

The Committee would consist of three members of the Council and no more than 3 members of the Planning and Zoning Commission.



Town of Mansfield

Department of Planning and Development

Date: November 12, 2015
To: Planning and Zoning Commission
From: Linda M. Painter, AICP, Director of Planning and Development
Subject: By-Law Review

Pursuant to Article VI of the PZC By-Laws, the By-Laws are to be reviewed biennially as part of the organizational meeting held after the Town Election. A copy of the existing by-laws are attached to this memo for your review.

Recommended Changes to By-Laws

Staff recommends the following changes to the existing by-laws for your consideration:

- Article VIII – Amend Section 2 to read as follows:

All members shall conduct themselves in accordance with the "Code of Ethics" Ordinance as adopted by the Mansfield Town Council effective June 23, 2012, as may be amended from time to time.

This proposed change updates the reference to the Ethics Code adopted in 2012.

- Article XII – Rename “Employees and Consultants” and amend language of Section 1 to read as follows:

Staff assistance for the Commission shall be as provided by the Town of Mansfield. The Commission may retain consultants as it sees fit to aid the Commission in its work within the limits of the funds available for its use, including fees for technical or professional consultants authorized by Chapter 122 of the Code of Ordinances. Procurement of consulting services shall be conducted in accordance with the Town’s Purchasing Ordinance, Chapter 76 of the Mansfield Code of Ordinances.

This proposed change updates the language to reflect the fact that the staff for the Commission/Agency is provided by the Town and not employed by the Commission. It also updates language with regard to hiring of consultants to be consistent with Town purchasing policies and procedures.

- Article XV– Amend language to read as follows:

These By-Laws may be amended by a two-thirds vote of the entire voting membership of the Commission only after the proposed change has been read and discussed at a previous meeting, except that the By-Laws may be changed at any meeting by the affirmative vote of seven members of the Commission.

This proposed change deletes the requirement that the By-Laws have been discussed at a previous

“regular” meeting. This would allow for changes discussed at a special meeting of the Commission to be approved by a two-thirds vote at a subsequent meeting.

For Discussion: Proposed Change in Meeting Day/Time

Staff would like to discuss the potential for changing the meeting time and or day of the regular meetings of the Commission. If the Commission is amenable to such a change, Section 1 of Article VII would need to be amended to reflect that change.

Draft Motion

If the proposed changes are acceptable to the Commission and no other changes are identified, the Commission may adopt the changes immediately with an affirmative vote of seven members. If the Commission chooses to vote on the changes on November 16th, the following motion could be used. The last portion of the motion (starting with “In addition to. . .” can be deleted if no changes other than those specifically identified in this memo are proposed.

_____ MOVES, _____ seconds to amend Articles VIII, XII, and XV of the By-Laws of the Mansfield Inland Wetlands Agency as recommended by the Director of Planning and Development in her November 12, 2015 memo.

In addition to the specific changes recommended by the Director, the Agency also adopts the following amendments:

- Amend Article VII, Section 1 to read as follows:
Regular meetings generally will be held on the first _____ of each month at _____ p.m. or upon completion of any Inland Wetland Agency meeting after 7:00 p.m., at an appropriate place designated by the Commission. Regular meetings may also be held on the third _____ of each month at _____ p.m. as needed to address pending business. In the event of conflict with holidays or other events, a majority at any meeting may change the date of said meeting. The Secretary shall notify the membership of special meetings not less than 24 hours in advance of such meeting. In accordance with the requirements of the Freedom of Information Act, a schedule of regular meetings for the calendar year shall be adopted by the Commission and filed with the Town Clerk prior to January 31.

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BY-LAWS

PLANNING AND ZONING COMMISSION MANSFIELD, CONNECTICUT

Effective January 2012

ARTICLE I

Purpose and Authorization

The objectives and purposes of the Planning and Zoning Commission of Mansfield, Connecticut are those set forth in Chapters 124 and 126 of the Connecticut General Statutes, 1958 Revisions as amended, and those powers and duties delegated to the Planning and Zoning Commission by State Statutes and Ordinances of the Town of Mansfield. A Town referendum establishing the Planning and Zoning Commission was held on March 26, 1958.

ARTICLE II

Name

The Commission shall be known as the Planning and Zoning Commission of Mansfield, Connecticut.

ARTICLE III

Office of Commission

The office of the Planning and Zoning Commission shall be the Audrey P. Beck Municipal Building, where all Commission records shall be kept. Copies of all official documents, record maps, etc., shall be filed or recorded in the office of the Town Clerk when required by State Statute.

ARTICLE IV

Membership

Section 1. The membership and terms of office shall be as specified in the Charter of the Town of Mansfield, Chapter 2, Section 202, Town Ordinances and the aforementioned General Statutes. Members/alternates shall notify the Planning Office if they expect to be absent from a regular meeting or special meeting, with the following exceptions: field trips and committee meetings are excluded from this requirement. If appropriate notice has been given of absences, the Commission may waive attendance requirements of Town Ordinance 13-1, which states that absence from three (3) consecutive meetings can be considered resignation from the Commission.

Section 2. Except for disqualifications (see Article VIII), any regular Commission member who is present at a meeting shall be seated as a voting member.

Section 3. The Planning and Zoning Commission shall have three alternate members as provided for by Town Ordinance and the Town Charter. Such alternate members shall, when seated as herein provided, have all powers and duties of regular members as set forth in the General Statutes, Mansfield

Charter and Town Ordinances. When not seated, alternate members may discuss items of business. However, after a motion is made, or after the close of a Public Hearing, discussion on the motion or on the subject application shall be limited to voting members. Alternate members are encouraged to attend all meetings and executive sessions of the Commission, and they shall have the right to be members of Commission sub-committees.

If a regular member of the Commission is absent or disqualified (see Article VIII), the Chairman of the Commission shall designate an alternate to act, choosing alternates in alphabetical rotation so that they act as nearly equal a number of times as possible. In the case of the absence of a regular member, the seated alternate shall act for the entire meeting. If any alternate is not available in accordance with such rotation, or is disqualified from acting on a specific item of business, such fact shall be recorded in the Minutes of the meeting and the next alternate in rotation shall be seated.

ARTICLE V

Officers and their Duties

Section 1. The officers of the Commission shall consist of a Chairman, a Vice-Chairman and a Secretary.

Section 2. The Chairman shall preside at all meetings and Hearings of the Commission and shall have the duties normally conferred by parliamentary usage on such officers. The Chairman shall have the authority to appoint committees, certify expenditures of funds up to \$250.00 without prior approval of the Commission provided such funds have been allocated to the Commission in the Town budget, call special meetings, and generally perform such other duties as may be prescribed in these By-laws.

Section 3. The Chairman shall be one of the Commission members. He/she shall have the privilege of discussing all matters before the Commission and of voting thereon.

Section 4. The Vice-Chairman shall act for the Chairman in his/her absence and shall have the authority to perform the duties prescribed for that office. He/she shall be a Commission member.

Section 4a. In the case of a prolonged absence of the Chairman, the Commission may elect an Acting Chairman who may be other than the Vice-Chairman. Said Acting Chairman shall be a Commission member and have the authority to perform all the duties prescribed for the office of the Chairman. The duties of the Vice- Chairman shall remain as prescribed.

Section 5. The Secretary shall keep the Minutes and records of the Commission, act for the Chairman and Vice-Chairman in their absence, and, with the assistance of such staff as is available, provide notice of all meetings to Commission members, arrange proper and legal notice of Hearings, attend to correspondence of the Commission, and perform such other duties as are normally carried out by a secretary. He/she shall be a Commission member.

Section 6. In the absence of the Secretary due to illness, personal or disqualification reasons, the Chairman shall appoint a Secretary pro-tem.

ARTICLE VI

Election of Officers

Section 1. A biennial organizational meeting shall be held after Town Election, in accordance with the Town Charter, at which time officers shall be elected and By-Laws reviewed and made part of the Minutes. Seven members must be present before election of officers can take place; a majority vote of the total membership (5) is required to elect any officer.

Section 2. Nominations shall be made from the floor at the organizational meeting and election of the officers specified in Section 1 of Article V shall follow immediately thereafter.

Section 3. A candidate receiving a majority vote from the entire membership of the Commission shall be declared elected and shall serve for two years, or until his successor shall take office.

Section 4. Vacancies in office shall be filled by regular election procedure as prescribed above.

Section 5. Resignations from the Commission shall be in written form and transmitted to the Town Clerk and the Chairman. Vacancies shall be filled as prescribed in the Charter of the Town of Mansfield, Chapter 2, Section 206, the Town Ordinances, and the State Statutes.

ARTICLE VII

Meetings

Section 1. Regular meetings generally will be held on the first Monday of each month at 7:00 p.m. or upon completion of any Inland Wetland Agency meeting after 7:00 p.m., at an appropriate place designated by the Commission. Regular meetings may also be held on the third Monday of each month at 7:00 p.m. as needed to address pending business. In the event of conflict with holidays or other events, a majority at any meeting may change the date of said meeting. The Secretary shall notify the membership of special meetings not less than 24 hours in advance of such meeting. In accordance with the requirements of the Freedom of Information Act, a schedule of regular meetings for the calendar year shall be adopted by the Commission and filed with the Town Clerk prior to January 31.

Section 2. A majority (5) of the total membership of the Commission shall constitute a quorum. A majority vote (5) of the total membership of the Commission is required to adopt any changes to the Zoning and Subdivision Regulations, or to the Zoning District Boundaries, or to take action on contracts or expenditures. To take action on any other matter, a majority of the members present and voting shall be required.

Section 3. All Commission meetings shall be open to the public unless a majority of the Commission members present and voting decide to enter an executive session, as provided for in Chapter 3 of the State Statutes.

Section 4. Unless otherwise specified, Robert's Rules of Order shall govern the proceedings at the meetings of the Commission.

ARTICLE VIII

Disqualification

Section 1. No member of the Commission shall appear for or represent any person, firm or corporation or other entity in any matter pending before the Commission. No member of the Commission shall participate in the hearing or decision of the Commission upon any matter in which he/she is directly or indirectly interested in a personal or financial sense. No member of the Commission, including alternates, shall participate in a decision of the Commission upon any matter in which he/she is not familiar with the record of information pertinent to the subject matter. In the event of such disqualification, such fact shall be entered on the records of the Commission and the disqualified member shall leave the table and shall not participate further. When disqualification is questionable, the Chairman shall make the final decision. Whenever the issue of disqualification occurs, the subject Commission member shall immediately notify the Chairman that he is considering disqualification.

Section 2. All members shall conduct themselves in accordance with the "Code of Ethics" Ordinance as adopted by the Mansfield Town Council effective August 7, 1995, as may be amended from time to time.

ARTICLE IX

Order of Business

Section 1. Unless otherwise determined by the Chairman or unless scheduled in advance, the order of business at regular meetings shall be:

- a. Call to Order
- b. Roll Call
- c. Review of Minutes of Previous Meeting and Action Thereon
- d. Zoning Agent Report
- e. Public Hearings
- f. Old Business
- g. New Business
- h. Reports of Officers and Committees
- i. Communications and Bills
- j. Adjournment

ARTICLE X

Public Hearings

Section 1. The Commission may hold Public Hearings, in addition to required hearings, when it decides that Hearings will be in the public interest.

Section 2. All Public Hearings prescribed by law shall be held in accordance with the requirements set forth for such Hearings in Chapters 124 and 126 of the Connecticut General Statutes.

Section 3. The matter before the Commission shall be presented in summary by a member of the Commission designated by the Chairman, or a staff member, and parties of interest shall have the privilege of the floor.

Section 4. Staff shall take the evidence, or the evidence shall be recorded by a sound-recording device, at each Hearing before the Commission in which the right to appeal lies to the Superior Court. A summary of the proceedings of the Hearing shall be incorporated into the Minutes Book of the Commission to be a permanent part of that record, and the recording shall be filed in the office of the Commission. Such recording shall be maintained for the duration of time specified in Connecticut Retention Schedule M1-255.

Section 5. To better expedite the proceedings of the Hearing and to cause a better understanding of the issue involved, the Commission shall prepare an agenda prior to the Hearing and may prepare visual aids for display and presentation during the discussions of the Hearing.

ARTICLE XI

Conducting the Public Hearing

Section 1. The Chairman of the Commission shall preside at the Public Hearing. In the event of his/her absence, the Vice-Chairman or a duly appointed Commission member shall act as presiding officer.

Section 2. The Secretary or a person designated by the Chairman shall read the legal advertisement and note the dates and newspapers in which the advertisement appeared, as well as any communications received.

Section 3. A summary of the question or issue shall be stated by the presiding officer at the opening of the Public Hearing. Comments shall be limited to the subject advertised for hearing. The chairman shall emphasize that the purpose of the Public Hearing is to receive relevant information from any applicant and from the public, and that Commission members shall await the close of the Hearing before discussing the relative merits of the subject issue. In any event, the Commission shall have the privilege of speaking first. The Chairman shall describe the method of conduct of the Hearing.

Section 4. The Chairman shall first call for statements from the proponents. The opponents shall be given equal opportunity to comment. The order is reversible, the discretion of the Commission prevailing. Whichever the case may be, each group shall make its presentation in succession without allowing an intermixture of comments, pro or con. The chairman shall take necessary actions to avoid repetition and debate and shall have the right to limit the length of time available for individual speakers. Reports, letters and other written materials previously submitted or submitted at the Hearing may be summarized, but should not be read aloud, as all written information is copied and distributed to members. In cases where extensive public participation may be anticipated, a sign-up sheet may be provided to determine the order for speaking.

Section 5. It shall be made clear at the Hearing that all questions and comments must be directed through the Chair only after being properly recognized by the presiding officer.

Section 6. All persons recognized shall approach the Hearing table in order to facilitate proper recording of comments. Before commenting on the matter before the Hearing, each person shall give his/her name and address.

Section 7. The presiding officer shall assure an orderly Hearing and shall take necessary steps to maintain the order and decorum of the Hearing at all times. The presiding officer shall reserve the right to terminate the hearing in the event the discussion becomes unruly and unmanageable.

Section 8. The show of hands by those persons present shall not be allowed on any general question presented at the Public Hearing. The Hearing shall be conducted only for the purpose of taking testimony to be considered in deliberations of a regular or special meeting of the Commission.

ARTICLE XII

Employees

Section 1. Within the limits of the funds available for its use, the Commission may employ such staff personnel and/or consultants as it sees fit, to aid the Commission in its work. Appointments shall be made by a majority vote of the total membership of the Commission. The Chairman may be authorized to employ personnel and retain consultants upon approval of the majority of the Commission. Where there is a Director of Planning and Development, the Chairman shall work with him/her in the employment of consultants/personnel. The Chairman may be authorized to sign contracts for employing personnel and contracting for planning services as might be approved by the Commission.

ARTICLE XIII

Committees

Section 1. Special committees may be appointed by the Chairman for purposes and terms which the Commission approves.

ARTICLE XIV

Public Relations

Section 1. The Chairman or a duly-appointed Commission member or staff personnel shall act as public relations or publicity director for the Commission. The duties include the preparation of all news releases to be distributed to the communications media. All information releases shall reflect the thinking of the majority of the Commission, with respect for the minority opinion where appropriate.

Section 2. In the matter of the press, radio or television representatives, the Commission shall comply with Chapter 3, Sections 1-10, 1-21 of the Connecticut General Statutes, 1958 revision, as amended.

ARTICLE XV

Amendments

These By-laws may be amended by a two-thirds vote of the entire voting membership of the Commission only after the proposed change has been read and discussed at a previous regular meeting, except that the By-laws may be changed at any meeting by the affirmative vote of seven members of the Commission.

DRAFT MINUTES

MANSFIELD PLANNING AND ZONING COMMISSION
INLAND WETLANDS AGENCY
SPECIAL MEETING – FIELD TRIP
October 14, 2015

Members present: Bonnie Ryan;
Roswell Hall (Item 3: Present for oral presentation, did not walk the site)
Conservation: Neil Fachinetti (Item 3)
Staff present: Jennifer Kaufman

The field trip began at approximately 2:00 p.m.

W1556- R. Manning, 37 Higgins Highway, Site Work

Members were met on site by R. Manning. Members observed current conditions, and site characteristics. No decisions were made.

W1558- K. Mehrens, 214 Wormwood Hill Road, 12' x 16' Shed

Members were met on site by property owner K. Mehrens. Members observed current conditions, and site characteristics. No decisions were made.

W1557 – C. L. Niarhakos, 101 East Road, 3 lot re- subdivision

Members were met on site by property owner C. Niarhakos. Others present were E. Pelletier, Datum Engineering and Surveying; M. & R. Harper, 129 East Road; Joe Boucher, Towne Engineering. Members observed current conditions, and site characteristics on both 101 East Road and 129 East Road. No decisions were made.

The field trip ended at approximately 4:30 p.m.

DRAFT Minutes
Mansfield Planning and Zoning Commission
Regular Meeting
Monday, November 2, 2015
Council Chambers, Audrey P. Beck Municipal Building

Members present: B. Pociask, K. Rawn, R. Hall, G. Lewis, J. Goodwin, V. Ward, B. Chandy
Members absent: B. Ryan
Alternates present: S. Westa, K. Holt, P. Aho
Staff present: Linda Painter, Director of Planning; J. Kaufman, Natural Resources and Sustainability Coordinator

Chairman Goodwin called the meeting to order at 7:16 p.m. and appointed Aho and Holt to act in place of absent members.

Approval of Minutes:

10-14-15 - Field Trip Minutes : Tabled until next agenda.

10-19-15 – Regular Meeting Minutes: Hall MOVED and Holt seconded to approve minutes as written. Motion was unanimously approved with the exception of Pociask who disqualified himself.

Zoning Agent's Report:

The Zoning Agent's report was noted.

Old Business:

Special Permit Application, A. Gioscia, 1708 Stafford Road, PZC File #1336: Chandy MOVED and Holt seconded to approve with conditions the application of A. Gioscia (File #1336), applicant and owner, to allow an office use at 1708 Stafford Road. This approval is based on the project as described in the application dated July 27, 2015, and as shown on plans dated July 24, 2015 as revised through October 6, 2015 and as presented at Public Hearing on October 19, 2015.

Through this approval, the Commission accepts the submission of the supplemental information provided by the applicant including building elevations, revised site plan and lighting details. The Commission further determines that no new hearing was warranted as the supplemental information did not significantly alter the original proposal. Furthermore, the Commission determines that due to the limited area of work associated with the proposed change in use, the site plan information identified as "not included" or "waiver requested" in the map checklist submitted as part of the application is not needed to determine consistency with the Zoning Regulations and the submission of that information is therefore waived in accordance with Article V, Section B.4.

This approval is granted because the application is considered to be in compliance with Article V, Section B and other provisions of the Mansfield Zoning Regulations, and is granted with the following conditions:

1. **Extent of Approval.** This approval is specifically limited to the above application and the applicant's submissions and the conditions cited in this motion. Unless modifications are specifically

authorized, the proposed uses and site improvements shall be limited to those authorized by this approval.

2. **Revised Site Plan.** No Zoning Permits shall be issued and no construction shall commence until the site plan is revised as follows:
 - The handicap accessible space shall be dimensioned and striped to meet the requirements for a van accessible space pursuant to CT building Code requirements.
 - The swale from the parking lot runoff is armored to prevent erosion.
 - The handicap ramp shall be revised to comply with Building Code requirements.
 - A note shall be added indicating that all signage shall be in accordance with the Federal Highway Administration Manual of Uniform Traffic Control Devices.
 - Wheel stops shall be added to prevent advancement of vehicles into the walkway for ADA access.
 - Details shall be provided indicating the materials and cross section of the gravel parking area to minimize erosion and sedimentation.
3. **Signs.** Signs shall not be internally illuminated and shall be designed to be compatible with the residential character of the building. Signs must be approved by the Director of Planning and Development prior to issuance of a Zoning Permit.
4. **Future Water Connection.** Any proposed future connection to the public water system shall require approval from the Commission as a modification to this Special Permit. Such request shall be reviewed based on the criteria identified in the CTDEEP Diversion Permit approval and zoning regulations in effect at the time of the request. Depending on the nature of the request, a full special permit application may be required by the Commission.
5. **CTDOT Approval.** No Zoning Permit shall be issued until the applicant has obtained an encroachment permit from the Connecticut Department of Transportation (CTDOT). Any modifications to the site plan required by CTDOT shall be reviewed by the Zoning Agent and PZC Chair. If the changes are considered significant, PZC approval of the modifications may be required.
6. **Validity.** This permit shall not become valid until the applicant obtains the special permit form from the Planning Office and files it on the Land Records."

MOTION PASSED. Pociask disqualified himself.

New Business:

- A. Special Permit Application, Efficiency unit, 650 Mansfield City Road; Lance Klase, PZC File #1337: Holt MOVED and Hall seconded to receive the special permit application (File#1337) submitted by Lance Klase for an efficiency unit on property located at 650 Mansfield City Road owned by the applicant as shown on plans dated 10/28/15 and as described in other application submissions and to refer said application to the staff for review and comments and to set a Public Hearing for November 16, 2015.

MOTION PASSED UNANIMOUSLY.

- B. Live Music Permit Renewals (PZC #895); Huskies Restaurant, 28 King Hill Road (PZC File #780-2); Pub 32, 847 Stafford Road (PZC #595); Teds Restaurant, 16 King Hill Road (File #1107): Holt MOVED and Ward seconded to receive the requests for the renewal of special permits for the use of live music, from Huskies Restaurant, Pub 32 and Ted's Restaurant, and schedule a public hearing for November 16, 2015. Current approvals and conditions shall be extended until action on the request for renewal.

MOTION PASSED UNANIMOUSLY.

- C. Pre-Application Review, Meadowbrook Gardens, 91-93 Meadowbrook Lane, Artisan Development, LLC: Chairman Goodwin introduced the item and noted for the record, "Such pre-application review and any results or information obtained from it may not be appealed under any provision of the general statutes by any person or entity, and shall not be binding on the applicant or any authority, commission, department, agency or other official having jurisdiction to review the proposed project."

Scott Garrett and Jack Yang of Artisan Development made a brief presentation on a proposed concept plan for the development of 38 multi-family units as a second phase to the 50-unit project currently under construction that was previously known as Whispering Glen. Members asked questions and identified potential issues to be addressed including, but not limited to, traffic impacts; sufficiency of proposed parking; potential for bus service to the property; property management; affordability provisions; and building scale, design and access.

- D. Request for Bond Release, Woods Subdivision, PZC File #1210: Goodwin and Holt recused themselves and Ward took over as chair. Westa was seated. Hall MOVED and Chandy seconded to authorize the staff to notify the Finance Director, that pursuant to the 2/25/04 Bonding Agreement, all work required to be completed under the terms of said Agreement have been satisfactorily completed and in accordance with paragraph 6 of said Agreement, all funds shall be returned to the developer.

MOTION PASSED UNANIMOUSLY.

Mansfield Tomorrow | Our Plan > Our Future:

Zoning Focus Group Update: Painter noted that she would cover updates to the regulations under her Director's report.

Reports from Officers and Committees:

Goodwin questioned whether a field trip was needed for the efficiency unit. As the proposal currently does not involve any exterior changes, no field trip was set. If the plan changes to include exterior changes, a field trip will be scheduled for Thursday, November 12th.

Painter noted that the Regulatory Review Committee met the previous week and discussed changes to the regulations regarding water service connections, stormwater management and impervious surfaces. She also reviewed her Director's report with the Commission and noted that an additional handout was

distributed regarding rental housing regulations in other communities. This handout was submitted to the Town Council by residents concerned with the conversion of single family homes to rental units. After discussion, the Commission identified several other potential regulation changes for the Regulatory Review Committee to discuss in advance of the overall zoning/subdivision regulation rewrite including: amplified/live music; kennels; brew pubs; vineyards; affordable housing and definition of family. Painter also noted that a meeting of the Subcommittee on Infrastructure Needs will be scheduled in the near future.

Communications and Bills:

Noted.

Adjournment:

Chairman Goodwin noted that it was Pociask's last meeting and thanked him for his service to the community.

Chairman Goodwin adjourned the meeting at 8:25 p.m.

Respectfully submitted,

Vera S. Ward, Secretary

To: Planning & Zoning Commission
 From: Curt Hirsch, Zoning Agent
 Date: November 13, 2015

Re: ***Monthly Report of Zoning Enforcement Activity***
For the month of October, 2015

Activity	This month	Last month	Same month last year	This fiscal year to date	Last fiscal year to date
Zoning Permits issued	13	14	9	52	39
Certificates of Compliance issued	7	7	12	25	39
Site inspections	33	19	17	16	142
Complaints received from the Public	11	9	6	31	25
Complaints requiring inspection	8	5	4	19	19
Potential/Actual violations found	7	6	6	17	20
Enforcement letters	9	4	3	17	23
Notices to issue ZBA forms	0	0	2	1	2
Notices of Zoning Violations issued	1	4	0	5	13
Zoning Citations issued	3	2	0	5	4

Zoning permits issued this month for single family homes = 2, 2-fm = 0, multi-fm = 0
 2015/2016 fiscal year total: s-fm = 3, 2-fm = 0, multi-fm = 0



Town of Mansfield



CURT B. HIRSCH
ZONING AGENT
HIRSCHCB@MANSFIELDC.T.ORG

AUDREY P. BECK BUILDING
4 SOUTH EAGLEVILLE ROAD
MANSFIELD, CT 06268-2599
(860) 429-3341

To: Planning & Zoning Commission
From: Curt B. Hirsch, Zoning Agent
Date: November 10, 2015

Re: Live Music Permit Renewals (PZC # 895)

Special permits for the use of live music expire on November 1st, of each year. The following three restaurants have active live music permits and have submitted applications indicating a desire to renew their permits.

Huskies Restaurant	28 King Hill Rd.	PZC # 780-2
Pub 32	847 Stafford Rd.	PZC # 595
Ted's Restaurant	16 King Hill Rd.	PZC # 1107

The use of live music is permitted with special permit approval under Article VII of the Zoning Regulations, as accessory to a permitted restaurant use. Any special permit for live music shall expire on November 1st of each year and may be renewed upon application and public hearing. At its 11/2/15 meeting, the PZC approved an extension of the existing special permits and conditions until there has been action on the renewal requests. All three of the active permit holders have requested a renewal of their permits and paid a renewal fee.

I have reviewed the current special permit approvals granted by the Commission on 10/6/14 for the three restaurants noted above. A copy of each approval is included in your packet for the scheduled 11/16/15 public hearing. My records show that there have not been any complaints filed with me in connection with the use of live music at any of the permit premises. As much as I am aware, each has been operating in compliance with the regulations and any conditions attached to the separate permits. None of the applications for renewal have requested any changes in their operation or the existing permit conditions. I note with respect to Pub 32, that the nature of the approval conditions is more controlling upon the permittee than the other two uses. While the restaurant use is a permitted use within the sites NB-1 zone, the neighborhood has a significant mix of residential properties, and the additional conditions have been imposed to help mitigate any effects of the commercial use of this property.

I recommend that **the Commission approve the special permit renewals for the use of live music for Huskies Restaurant, Pub 32 and Ted's Restaurant, until November 1, 2016. The renewals are conditioned upon compliance with the current conditions for each permit, which shall be attached to this motion.**

TOWN OF MANSFIELD
PLANNING & ZONING COMMISSION

SPECIAL PERMIT RENEWAL APPLICATION
LIVE MUSIC

The use of live music is permitted with special permit approval as accessory to a permitted restaurant use. Any special permit for live music shall expire on November 1st of each year and may be renewed upon application and public hearing.

Circle one:

☒ I do / do not wish to renew my Special Permit for Live Music.

Applicant: WHGR INC DBA Huskies Restaurant + Bar Phone # 860 428 0406

Mailing address: PO Box 417 STORRS CT 06268

Name of restaurant: HUSKIES RESTAURANT + BAR

Address of restaurant: 28 KING HILL Rd STORRS, CT

Are you requesting any changes in your operation or changes to the conditions of approval upon which you are required to operate? If yes, please explain:

Return this renewal application prior to October 14, 2015. A public hearing will be held in November for all those permittees seeking renewal.

Applicant's signature

Date

Please return application and \$100.00 permit renewal fee to:

Zoning Agent
4 S. Eagleville Road
Storrs, CT 06268

10/29/15
Fees Paid
ck # 7526

TOWN OF MANSFIELD
PLANNING AND ZONING COMMISSION

AUDREY P. BECK BUILDING
FOUR SOUTH EAGLEVILL ROAD
STORRS, CT 06268
(860) 429-3330

Friday, October 17, 2014

Huskies Restaurant
Sean Scraba
28 King Hill Road
P.O. Box 417
Storrs, CT 06268

Re: Mansfield's PZC approval for Live Music Special Permit Renewal
PZC File # 780-2

Dear Mr. Scraba,

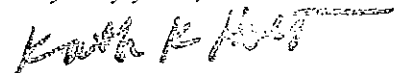
At a meeting held on 10/6/14, the Mansfield Planning and Zoning Commission adopted the following motion:

"to grant to WHGR, Inc. a special permit for the performance of live music at Huskies Fine Food & Drink Restaurant, 28 King Hill Rd. (file 780-2), pursuant to Article V, Section B and Article VII of the Mansfield Zoning Regulations, and testimony heard at Public Hearing on 10/6/14. This approval is granted with the following conditions; failure to comply with these conditions may result in revocation of the permit:

1. The parking area shall be maintained and litter removed on a weekly basis;
2. No music shall be audible outside the building. All performances shall be held inside;
3. This special permit shall become valid only after the applicant obtains the permit form from the Town Planning Office and files it on the Land Records, and it shall expire on November 1, 2015."

If you have any questions regarding this action, please call the Planning Office at 429-3330.

Very truly yours,



Katherine K. Holt, Secretary
Mansfield Planning & Zoning Commission

TOWN OF MANSFIELD
PLANNING & ZONING COMMISSION

SPECIAL PERMIT RENEWAL APPLICATION
LIVE MUSIC

The use of live music is permitted with special permit approval as accessory to a permitted restaurant use. Any special permit for live music shall expire on November 1st of each year and may be renewed upon application and public hearing.

Circle one:

I do/ do not wish to renew my Special Permit for Live Music.

Applicant: Pub 52 LLC Phone # 860 987 9785

Mailing address: 847 Storrs Road

Name of restaurant: Pub 52

Address of restaurant: 847 Storrs Road

Are you requesting any changes in your operation or changes to the conditions of approval upon which you are required to operate? If yes, please explain:

Return this renewal application prior to October 14, 2015. A public hearing will be held in November for all those permittees seeking renewal.

X B. B.
Applicants signature

10.16.15
Date

Please return application and \$100.00 permit renewal fee to:

Zoning Agent
4 S. Eagleville Road
Storrs, CT 06268

Ck #1938
10/16/15

TOWN OF MANSFIELD
PLANNING AND ZONING COMMISSION

AUDREY P. BECK BUILDING
FOUR SOUTH EAGLEVILL ROAD
STORRS, CT 06268
(860) 429-3330

Friday, October 17, 2014

Pub 32, LLC
Bryan Burney
847 Stafford Road
Storrs, CT 06268

Re: Mansfield's PZC approval for Live Music Special Permit Renewal
PZC File # 595

Dear Mr. Burney,

At a meeting held on 10/6/14, the Mansfield Planning and Zoning Commission adopted the following motion:

"to grant to Bryan Burney a special permit for the performance of live music at Pub 32, LLC, 847 Stafford Rd. (file 595), as presented at Public Hearing on 10/6/14, pursuant to Article V, Section B and Article VII of the Mansfield Zoning Regulations. Approval is granted with the following conditions; failure to comply with these conditions may result in revocation of the permit:

1. The restaurant owner and permittee shall be responsible for monitoring the emptying of the restaurant and parking lot at closing time to facilitate protection of adjoining properties and to prevent neighborhood nuisances;
2. A restaurant employee shall be utilized on Thursday, Friday and Saturday nights for the aforementioned purpose between the hours of 9:30 p.m. and closing, to monitor the parking lot for noise control and traffic safety;
3. The operators of the business shall be responsible for preventing the entry of additional cars once the lot is full;
 - a. The parking lot shall be plowed to allow full use of the total lot;
4. All noise and live music associated with the restaurant shall be contained within the building;
5. Identification checks shall be accomplished with the doors closed. In order to ensure that noise is contained, window sound baffles or air conditioners shall be employed and maintained and the business shall be operated so that doors, windows and skylights remain closed during times when live music or other loud amplified sound is played;
6. The area shall be kept clean and all litter shall be removed at least on a weekly basis;
7. All fencing, exterior signage, exterior lighting, the driveway between the upper and lower lots and the parking lot surfaces shall be maintained and repaired immediately after any damage occurs;
8. This special permit shall become valid only after the applicant obtains the permit form from the Town Planning Office and files it on the Land Records, and it shall expire on November 1, 2015."

If you have any questions regarding this action, please call the Planning Office at 429-3330.

Very truly yours,


Katherine K. Holt, Secretary
Mansfield Planning & Zoning Commission

TOWN OF MANSFIELD
PLANNING & ZONING COMMISSION

SPECIAL PERMIT RENEWAL APPLICATION
LIVE MUSIC

The use of live music is permitted with special permit approval as accessory to a permitted restaurant use. Any special permit for live music shall expire on November 1st of each year and may be renewed upon application and public hearing.

Circle one:

I do do not wish to renew my Special Permit for Live Music.

Applicant: Ryan McDonald Phone # 860-309-7567

Mailing address: PO Box 68, Storrs

Name of restaurant: Ted's Restaurant and Bar

Address of restaurant: 16 King Hill Road, Storrs

Are you requesting any changes in your operation or changes to the conditions of approval upon which you are required to operate? If yes, please explain:

Return this renewal application prior to October 14, 2015. A public hearing will be held in November for all those permittees seeking renewal.

Ryan McDonald
Applicant's signature

10/20/15
Date

Please return application and \$100.00 permit renewal fee to:

Zoning Agent
4 S. Eagleville Road
Storrs, CT 06268

\$100 ck # 3922

TOWN OF MANSFIELD
PLANNING AND ZONING COMMISSION

AUDREY P. BECK BUILDING
FOUR SOUTH EAGLEVILL ROAD
STORRS, CT 06268
(860) 429-3330

Friday, October 17, 2014

Ted's Restaurant
Ryan McDonald
P.O. Box 68
16 King Hill Road
Storrs, CT 06268

Re: Mansfield's PZC approval for Live Music Special Permit Renewal
PZC File #1107

Dear Mr. McDonald,

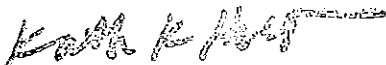
At a meeting held on 10/6/14, the Mansfield Planning and Zoning Commission adopted the following motion:

"to grant to Ryan McDonald renewal of a special permit for the performance of live music at Ted's Restaurant, 16 King Hill Rd. (file 1107), as presented at Public Hearing on 10/6/14, pursuant to Art. V, Sec. B and Art VII of the Mansfield Zoning Regulations. This approval is granted with the following conditions; failure to comply with these conditions may result in revocation of the permit:

1. Live music shall be limited to Sunday through Wednesday, from 9:30 p.m. to 12:30 a.m.;
2. No music shall be audible at the property lines;
3. Seating capacity shall be limited to 50 people, as approved by the Planning & Zoning Commission in the 12/22/88 site plan approval;
4. A full menu shall be offered during hours of operation;
5. This special permit shall become valid only after the applicant obtains the permit form from the Town Planning Office and files it on the Land Records, and it shall expire on November 1, 2015."

If you have any questions regarding this action, please call the Planning Office at 429-3330.

Very truly yours,



Katherine K. Holt, Secretary
Mansfield Planning & Zoning Commission



Department of Planning and Development

Date: November 12, 2015
To: Planning and Zoning Commission
From: Curt Hirsch, Zoning Agent
Subject: Special Permit Application
Efficiency Unit – 650 Mansfield City Road
File #1337

The following comments are based on a review of submitted information (undated Statement of Purpose, Site Plan and floor plan prepared by the applicant, and other application submissions), and a review of pertinent zoning regulations, particularly Article X, Section L and Article V, Section B.

Project Description

The applicant is requesting special permit approval for an efficiency unit in association with an existing single-family home on property located at 650 Mansfield City Road. The proposed efficiency unit will be incorporated into a basement area of an existing single-family residence.

Compliance with Zoning Regulations

The following list summarizes the requirements that must be met before the Commission can approve a special permit pursuant to Article X, Section L.2.a. Compliance with these criteria is indicated by a ☒ and a narrative description. If a requirement has not been met, it is preceded by a ☐. A PZC field trip was not deemed necessary by the Commission because all work is interior to the existing house.

- ☒ **Unit Size.** *The unit must contain at least 400 square feet and cannot exceed 35% of the floor area of the single family home in which it is located.*

The proposed efficiency unit is approximately 720 square feet in area, which equates to $\pm 32.9\%$ of the floor area of the 2,187 square foot home (including the new efficiency unit).

- ☒ **Facilities.** *The unit must include independent living quarters, a distinct kitchen area, and a bathroom with sanitary and bathing facilities.*

The statement of use indicates that the proposed efficiency unit has a living room area, a bedroom, complete kitchen and a full bathroom. These rooms are indicated on the submitted floor plan.

- ☒ **Occupancy.** *Either the single-family home or the efficiency unit must be owner-occupied. An affidavit certifying owner occupancy and a statement that the provisions of Article X, Section L have been met must be submitted as part of the application.*

The applicant indicated in the statement of use that he is the owner of 650 Mansfield City Road, and

that he and his wife will be occupying the main portion of the house as his principal residence. The statement of use will need to be signed and notarized.

☒ **Access.** *Interior access between the single-family residence and the efficiency unit is required.*

According to the statement of use, interior access to the efficiency unit is provided through an existing stairway between floors. There is also an exterior door from the efficiency unit to the outside, located on the opposite end of the house from the driveway. There is no connection between the driveway and the exterior door of the basement efficiency. The applicant has stated to me his intention to create such a connection, which may include the reconstruction of a portion of a former circular driveway that ran around the house. An appropriately constructed connection has been required as a condition of approval in other recent applications.

☒ **Off-Street Parking.** *A minimum of 3 spaces with unobstructed access must be provided.*

The property currently is served by an asphalt driveway. The driveway has ample area for three vehicles to maneuver with unobstructed access.

☒ **Maximum Occupancy.** *Occupancy of the efficiency unit is limited to 2 people.*

Pursuant to the submitted statement of use, the efficiency apartment will be occupied by the applicant's mother-in-law.

☒ **Use and Dimensional Requirements.** *The single-family home must comply with use and dimensional requirements (height, area, yards) for the district in which it is located. No efficiency units are permitted on a lot with less than 40,000 square feet.*

The lot on which the home is located is 42,000 sq. ft. in area according to the Assessor's record. The property is located in a RAR-90 zone and due to its area, it is a non-conforming lot of record.

☒ **Character.** *The home in which the unit is located must retain its character as a single-family residence.*

The efficiency will be located completely within the existing house footprint. The single-family house will not appear any differently than it does currently.

☒ **Sanitary System.** *The applicant must demonstrate adequate sewage disposal prior to Commission approval of the special permit.*

The property is served by private well and septic systems. According to the Assessor's record, the existing home has three bedrooms. Per the statement of use, an existing bedroom will be converted to a laundry room and the third bedroom will be established in the basement efficiency unit.

☒ **Flood Hazards.** *Efficiency units are not permitted within Flood Hazard Areas as defined in Article X, Section E of the Zoning Regulations.*

Based on the FEMA and zoning maps, the subject property is not located within a Flood Hazard area.

- ☒ **Street Frontage.** *All efficiency units must be located on a lot with street frontage as defined in the Zoning Regulations.*

The subject lot has approximately 200 feet of frontage on Mansfield City Road, a town road.

- ☒ **Inland Wetlands Agency.** *IWA approval is required for any proposed improvements within regulated wetland/watercourse areas prior to approval of the special permit.*

No site improvements are proposed and the property is not within a regulated wetland area.

Approval Considerations

Pursuant to Article V, Section B.5, the applicant must demonstrate to the satisfaction of the Commission that the proposed development will not detrimentally affect the public's health, welfare and safety and that the development meets the following approval criteria for special permit applications:

- a. That all approval criteria in Article V, Section A.5 (Site Plan Approval Criteria) of these regulations have been met. The applicant has not yet submitted certified mailing receipts and a copy of the mailed documents to demonstrate compliance with the neighborhood notification requirement. The proposed use is compatible with the Town's Plan of Conservation and Development and Article I of the Zoning Regulations (Intent and Purpose).
- b. That the location and size of the proposed use and the nature and intensity of use in relation to the size of the lot will be in harmony with the orderly development of the Town and compatible with other existing uses.

The applicant has requested waivers of two requirements; the surveyed plot plan and a contour plan. Because no exterior work is being proposed to establish the proposed efficiency, these requirements are deemed as not necessary to determine compliance with the regulations.

The applicant still needs to submit the following information, which he says is forthcoming:

Certified mailing receipts with a copy of the materials sent as part of the neighborhood notification, and a notarized Statement of Use.

Summary / Recommendation

Subject to any testimony received during the public hearing and verification that the neighborhood notification requirement has been met, the proposal is considered to be in compliance with regulatory provisions and is not expected to cause any detrimental neighborhood impacts. I recommend **that the 10/28/15 special permit application for an efficiency unit at 650 Mansfield City Road, submitted by Lance Klase, as described in a submitted statement of use and shown on an aerial depiction of the property, be approved with the following conditions:**

- 1. This approval has been granted for a one-bedroom efficiency unit in association with a single-family home having two additional bedrooms.**
- 2. The applicant shall submit a signed and notarized copy of the submitted statement of use.**
- 3. This approval is conditioned upon continued compliance with Mansfield's Zoning Regulations for efficiency units, which include owner-occupancy requirements and limitations on the number of residents in an efficiency unit. Pursuant to Article X, Section L.2, the applicant shall submit a notarized affidavit certifying owner occupancy and a written statement regarding compliance with efficiency unit regulations every two years, starting on January 1, 2018.**
- 4. The special permit shall not become effective until it is filed upon the land record by the applicant.**

NOTES

- The analysis and recommendations contained in this report are based on the following information submitted by the applicants:
 - Application submitted October 28, 2015 and received by the PZC on November 2, 2015 including:
 - Statement of Use/Consistency with Efficiency Unit Requirements
 - Floor plan of proposed efficiency unit, revised to 10/28/15
 - Site plan (aerial photograph with notes added)
 - Site Plan Checklist and associated waiver requests
- Neighborhood Notification Forms are required to be sent to property owners within 500 feet of the subject property in accordance with Article V, Section B(3)(c) of the Mansfield Zoning Regulations.
- The Public Hearing on this item will be opened on 11/16/15 and must be closed by 12/16/15, unless a written extension is granted by the applicants.
- Before rendering a decision, the Planning and Zoning Commission must consider other referral reports and public hearing testimony. A decision must be made within 65 days of the close of the Public Hearing unless the applicants grant a written extension.

RECEIPT OF APPLICATION FOR SPECIAL PERMIT, SITE PLAN, (RE)SUBDIVISION:

_____, move and _____ seconds to receive the SITE PLAN,

SPECIAL PERMIT, (re)SUBDIVISION application (file # 1337)

submitted by Lance Klase,

for an Efficiency Unit

(if subdivision, give title) _____,

on property located at 650 Mansfield City Road,

owned by the Applicant,

as shown on plans dated 10/28/15, revised through _____,

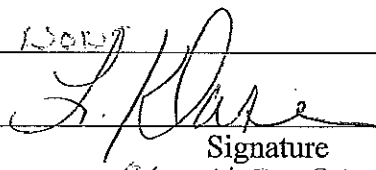
and as described in other application submissions, and to refer said application to the staff, ~~Design Review Panel, Committee on the Needs of Persons with Disabilities.~~

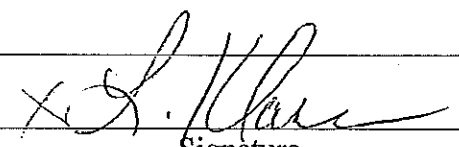
(other)
for review and comments, and to set a Public Hearing (if applicable) for November 16, 2015

SPECIAL PERMIT APPLICATION
(see Article V, Section B of the Zoning Regulations)

Mansfield Planning and Zoning Commission

File # 1337
Date 10/28/15

1. Name of development (where applicable) KLASE Property
2. Proposed use of the property is Efficiency Unit
in accordance with Sec.(s) VI, 5.2 of Article VII (Permitted Use provisions) of the Zoning Regulations
3. Address/location of subject property 650 Mansfield City Rd Storrs
Assessor's Map 27 Block 55 Lot(s) 3 Vol. 660 Page 262
4. Zone of subject property RAR-90 Acreage of subject property 1.6 acre
5. Acreage of adjacent land in same ownership (if any) None
6. APPLICANT Lance Klase 
(please PRINT) Signature
Street Address 650 Mansfield City Rd Telephone 860-453-3404
Town Storrs Zip Code 06268
- Interest in property: Owner ☒ Optionee _____ Lessee _____ Other _____
- (If "Other", please explain) _____

7. OWNER OF RECORD: LAUCE KLAUSE 
(please PRINT) Signature
(OR attached Purchase Contract _____ OR attached letter consenting to application _____)
Street Address _____ Telephone _____
Town _____ Zip Code _____
8. AGENTS (if any) representing the applicant who may be directly contacted regarding this application:
- Name Tom Ward Telephone 860-456-7946 work-home
860-450-6416 cell
Address 205 Crane Hill Rd Storrs CT Zip Code 06268
Involvement (legal, engineering, surveying, etc.) Builder
- Name _____ Telephone _____
Address _____ Zip Code _____
Involvement (legal, engineering, surveying, etc.) _____

(over)

9. The following items have been submitted as part of this application:

Application fee in the amount of \$ 350.00 Received 10/28/15 ct # 2552

Statement of Use further describing the nature and intensity of the proposed use, the extent of proposed site improvements and other important aspects of the proposal. To assist the Commission with its review, applicants are encouraged to be as detailed as possible and to include information justifying the proposed special permit with respect to the approval criteria contained or referenced in Article V, Section B.5.

Site plan (6 copies) as per Article V, Section B.3.d

Site plan checklist including any waiver requests

Sanitation report as per Article V, Section B.3.e

Acknowledgement that certified notice will be sent to neighboring property-owners, as per the provisions of Article V, Section B.3.c (use Neighborhood Notification Form).

N/A As applicable for projects within the watershed of the Willimantic Reservoir, acknowledgement that certified notice will be sent to the Windham Water Works, as per the provisions of Article III, Section 1.

N/A As applicable for projects within State designated aquifer protection areas, acknowledgment that the Commissioner of Public Health will be notified as per the provisions of Article III, Section 1. The State Department of Public Health's on line form (www.dph.state.ct.us/BRS/Water/Source_Protection/PA0653.htm) shall be used with a copy of the submittal delivered to the Planning Office.

Other information (see Article V, Section B.3.g). Please list items submitted (if any):

Floor Plan

10. **ALL APPLICATIONS, INCLUDING MAPS AND OTHER SUBMISSIONS, MUST COMPLY WITH ALL APPLICABLE SECTIONS OF THE ZONING REGULATIONS, INCLUDING, BUT NOT LIMITED TO:**

Art. X, Sec. E, Flood Hazard Areas, Areas Subject to Flooding

Art. V, Sec. B, Special Permit Requirements (includes procedure, application requirements, approval criteria, additional conditions and safeguards, conditions of approval, violations of approval, and revisions)

Art. VI, Sec. A, Prohibited Uses

Art. VI, Sec. B, Performance Standards

Art. VI, Sec. C, Bonding

Art. VII, Permitted Uses

Art. VIII, Dimensional Requirements/Floor Area Requirements

Art. X, Sec. A, Special Regulations for Designed Development Districts

Art. X, Sec. C, Signs

Art. X, Sec. D, Parking and Loading

Art. X, Sec. H, Regulations regarding filling and removal of materials

Art. X, Sec. S, Architectural and Design Standards

Proposed Efficiency Unit

Statement of Use

Lance Klase
650 Mansfield City Rd
Storrs, CT 06268

1. We are proposing to establish an efficiency unit with in our single-family residence. The efficiency will be located in our current basement area, which is to be renovated. The efficiency will consist of a living room/area, a bedroom, a full bathroom and complete kitchen. The area of the efficiency is about 720 sq. ft. This represents about 33% of the 2187 sq. ft. living area (including the efficiency).
2. We are the owners of the property at 650 Mansfield City Rd and we will be occupying the main portion of the house as our principal residence. The efficiency will be occupied by my wife's mother. We understand the bi-annual requirement for the submission of a notarized affidavit, attesting to our continuing compliance with the owner-occupancy requirement.
3. Interior access between the main living area and the efficiency will be provided through an existing door to the unit. The efficiency will also have a separate egress window to the outside, also stairs to the main floor.
4. The existing driveway is of sufficient size to accommodate three vehicles without stacking.
5. The efficiency will be occupied by one person.
6. The property complies with the use requirements for an efficiency unit in a RAR-90 zone. The property is approximately 1- acre in area.
7. There will be no changes/additions to the existing house. It will therefor retain the character of a single family residence.
8. We talked with the Eastern Highlands Health District to confirm that the existing septic system is adequately sized for our proposed unit. There are currently three bedrooms in the house, but one of those will be repurposed for laundry and stairs and the third bedroom will now be in the efficiency unit.



Town of Mansfield, Connecticut
Web GIS Maps and Online Property Information
by MainStreetGIS, LLC
[Town Website](#) [Feedback](#)

Base Map MapQuest Street Map

650 MANSFIELD CITY RD

Address ParcelID Owner

GIS Map Street View Pictometry Tax Maps

Layers Property Files Selection

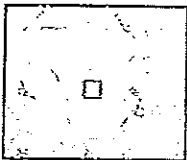
MainStreetGIS

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Drawing Buffer

- ☐ Road Name Text (Census 2010)
- ☐ Parcel Address Text
- ☐ Parcel ID Text
- ☐ Parcel Area Text
- ☐ Parcel Dimension Text
- ☐ Roads (Census 2010)
 - ☒ Primary Road
 - ☒ Secondary Road
 - ☒ Local Road
 - ☒ Driveway
 - ☒ Trail
- ☐ Tax Map Index
- ☒ Town Boundary
- ☐ Towns
- ☐ Trail
- ☐ Trail (CT DEP 2006)
- ☐ Railroad (2010)
- ☐ Elevation Contours 2ft
- ☐ National Diversity Database (CT DEP)
- ☒ NA
- ☐ Zoning
 - ☒ Business (B)
 - ☒ Design Multiple Residence (DMR)
 - ☒ Flood Hazard (FH)
 - ☒ Institutional (I)
 - ☒ Neighborhood Business 1 (NB-1)
 - ☒ Neighborhood Business 2 (NB-2)



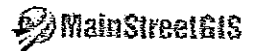


1 in = 52.6 ft

Printed on 9/30/2015

Last update: Property information 3/20/2015, GIS parcel lines 12/31/2014

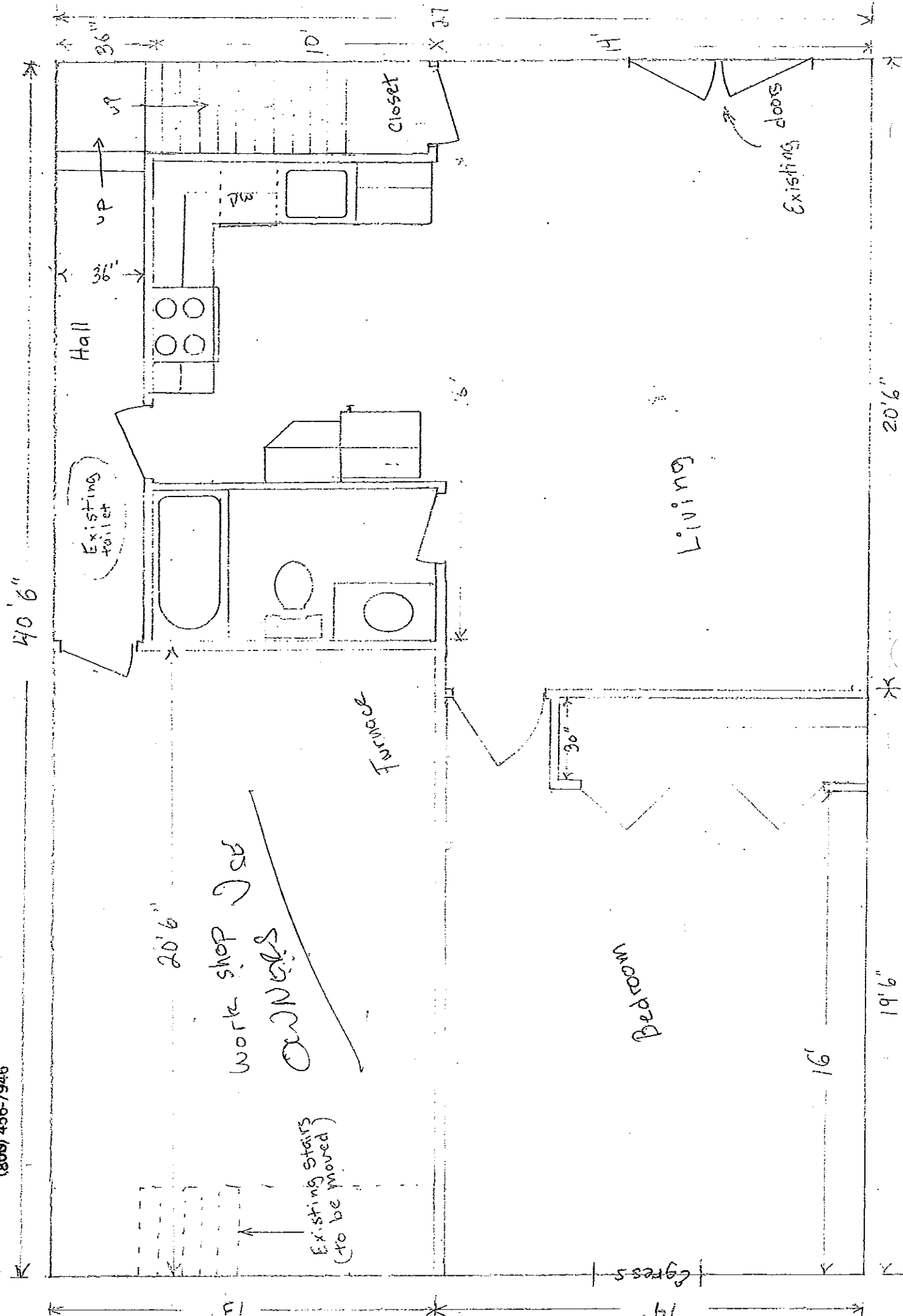
This map is for informational purposes only. It is not for appraisal of, description of, or conveyance of land. The Town of Mansfield, Connecticut and MainStreetGIS assume no legal responsibility for the information contained herein.



MainStreetGIS, LLC
www.mainstreetgis.com

Lance Klase Property
650 Mansfield City Road
10/28/15

TOM WARD BUILDERS
 205 Crane Hill Rd.
 STORRS, CONNECTICUT 06268
 (860) 456-7946





Town of Mansfield

Department of Planning and Development

Date: November 12, 2015
To: Planning and Zoning Commission
From: Linda M. Painter, AICP, Director of Planning and Development
Subject: Paideia Request for Modifications
28 Dog Lane
PZC File #1049-7

Project Background

2001-2006 ▪ The Paideia Amphitheatre/Exhibit Hall Project at 28 Dog Lane was granted Special Permit approval on 9/3/2001. On July 21, 2003, the Commission found that the applicant had complied with pre-construction conditions and authorized the recordation of the Special Permit on the land records. The attached notice includes the original conditions of approval as modified by the 2003 action. However, construction was not authorized until 2006, which is the date of the first approved plan set.

2007 ▪ The project was stopped due to unauthorized changes in the approved plans.

March 3, 2008 ▪ The PZC authorized a number of modifications and work on some elements of the theatre project was allowed to continue. Modifications included a rotation of the theater, elimination of the upper plaza, a 6 foot reduction in the height of the wall surrounding the theater and a slight reduction in the size of the exhibit building. Paideia was not authorized to do any other additional work until architectural plans for the altered exhibit area were approved by the PZC.

September 8, 2009 ▪ The 2008 approval was modified to allow Paideia to complete work on the stage.

June 1, 2010 ▪ Communications were received from neighboring property owners who raised concern about the timing of the project and the lack of landscaping work.

March –June 2011 ▪ Ilias Tomazos, President of Hellenic Society Paideia, Inc., submitted a floor plan for the exhibit area and an elevation plan depicting exterior walls of the exhibit area. The revised plans restored the upper plaza above the exhibit area that was eliminated in 2008. Due to discrepancies between the revised exhibit hall plans and the submitted landscaping plans, the Commission allowed the landscaping work to proceed but retained the stop work order on the exhibit hall and plaza until more complete plans were submitted.

2011-2015 ▪ Portions of the approved landscaping were installed during the summer/fall of 2011; however, many of the trees and plantings failed to thrive and others were stolen. As a result, the missing trees were replaced with White Pines. The applicant has spent the last few years developing

a complete, consistent plan set for the Commission's review.

Current Proposal

The applicant has submitted revised plans for the project as well as a request to allow use of the amphitheater prior to completion of certain features. These requests are the subject of this report. Property owners neighboring the Paideia site were notified of this meeting and the pending request through a courtesy letter sent by staff. As this request was received in 2013, at which time the Commission tabled the request until the applicant submitted a complete and consistent plan set, I have attached copies of the previous correspondence received from neighbors at the time of the 2013 request. Mr. Tomazos, the applicant's representative, and his team are expected to be present at the November 16th meeting to address questions and issues raised.

Plan Modifications

The following comments are based on a review of a 11- page plan set dated September 5, 2015 prepared by SGN Associates. These plans were only reviewed for site plan and exterior design issues and details related to prior Planning and Zoning Commission approvals, not for issues related to construction and other building/fire code issues such as bathrooms, framing, etc. The applicant is responsible for obtaining building permits for any modifications that may be approved by the Commission. If substantial changes to the site plan or exterior building elevations are made as a result of comments received during building permit review, additional review by the Commission may be needed.

The applicant is requesting the following modifications to the approved plans:

- **Construction Schedule.** The applicant has proposed a new completion date of September 30, 2017.
- **Amphitheater.** In their September 20, 2015 letter, the applicant identified proposed changes to the amphitheater including the addition of columns and perimeter railings at the entry points to the theater; revised wheelchair seating area; materials for the pedestrian walkway/standing area around the perimeter of the seating; finish of the theater wall; materials for access drive; and details of the theater structure.
 - *Columns.* The columns and perimeter railing noted above have already been installed; a photo detail can be found on Sheet LA2.1 of the plans. While that detail has only been noted for the eastern perimeter entry, the column detail also applies to the columns at the west access ramp to the second floor of the stage.
 - *Handicap Accessibility.* The revised site plan indicates that the accessible seating has been relocated to the seating section located closest to the western entrance to the theater. While no handicap access to the theater floor is proposed, the applicant is advised that if such access is required by the building code, they will need to provide a handicap accessible space in the service area.

- *Lighting.* Sheet A0.2 includes lighting specifications and lighting locations.
- *Materials.* According to the July 11, 2002 memo from the Town Planner: “Retaining walls and the refuge/exhibit area exterior walls are to be concrete covered with white marble veneer with natural coloration; the floors of the upper and lower plazas will have a reddish paver surface; the dumpster enclosure will be of terra cotta colored brick, and the stage will have white marble columns, a red tile roof and the wall facing the orchestra will be white marble with natural coloration. The orchestra floor will consist of white marble tiles cut in circular rings of grey and black.”

The applicant’s September letter (attached) identifies several proposed changes in materials that the Commission will need to review and determine if appropriate. Examples, include use of stucco for the second floor of the stage instead of marble; use of red metal tiles on the roof instead of actual tile; addition of posts on the second floor of the theater connected by marble railings instead of full marble and eliminate of the marble veneer on the exterior theater walls. This last modification is the most significant in that a large section of that wall is visible from Dog Lane. The walls are currently finished with a mixture of white cement and lime; the applicant is also proposing to plant Boston Ivy to cover the wall.

- **Exhibit Hall.** The footprint of the proposed Exhibit Hall is generally the same as what was approved in 2008, with the exception of the main entry. The building has been pulled back in this area to include a recessed entry and stairs to the upper plaza. With regard to the building elevations, three windows have been added to the northern elevation, which is oriented to the access drive off of Dog Lane. These windows help to break up the mass of the building in that area. On the eastern elevation facing the amphitheater, smoked glass panels have been added behind a series of 6 columns to provide an interior viewing area of the amphitheater.

Given the large expanse of wall that will be located on Dog Lane with no fenestration, the applicant should bring a sample of the proposed smooth stone finish to the PZC meeting.

- **Upper Plaza.** While the original plans approved in 2003 included a plaza above the exhibit hall that connected to the parking lot located along Dog Lane, the upper plaza was removed from the plans as part of the 2008 modification. The current plans again include an upper plaza with an access ramp to the northern parking lot. The other change from the original design of the upper plaza is the inclusion of decorative iron railings along the perimeter (see detail on Sheet A2.5) instead of the originally proposed 3 ½ foot parapet wall.
- **Site Plan/Landscape Areas.** The applicant has made several revisions to the landscape plan that was approved in 2011, which include removal of several plantings along the walkway surrounding the amphitheater; addition of Boston Ivy on the theater wall; elimination of proposed Sugar Maple street trees along Dog Lane adjacent to the Exhibit Hall building; addition of new landscape materials along Dog Lane; reconfiguration of the

plantings on top of the landscape berm; replacement of original tree plantings that died or were stolen with White Pines; and the addition of a new White Pine cluster between Dog Lane and the Exhibit Building.

The applicant has indicated that the fieldstone wall and cedar gate will be installed consistent with the original approval; however, the landscape plan does not show the full extent of the stone wall extension to the western extent of the Exhibit Hall building. This should be corrected on the plans along with the addition of the cedar gate detail from the original plan set.

- **Trash Collection.** The applicant has removed the dumpster from the plans and indicated in their September letter that trash service will be arranged for each event as the Paideia Center itself generates little trash.

The Assistant Town Engineer has reviewed the revised plan set and issued comments that are provided separate from this memo. These comments are minor in nature and could be addressed as part of a motion.

Request to Defer Certain Improvements

As the amphitheater portion of the project nears completion, the applicant has requested authorization to begin holding events prior to completion of the following improvements related to the amphitheater. Based on the November 12, 2015 email from the applicant, they do not expect to use the amphitheater prior to the summer of 2016. At that time, he anticipates having all items related to the theater completed with the exception of the marble veneer on the six columns at the ground level stage and the restrooms.

Condition 11 of the Special Permit requires that all site work be satisfactorily completed prior to any use of the amphitheater or issuance of a Certificate of Compliance. This condition also notes that pursuant to Article V, Section B.7.c of the Zoning Regulations, a variation of this condition may be authorized by the Commission where public health and safety components of the project have been satisfactorily completed. The completion of public health and safety components would need to be verified by the Zoning Agent, Fire Marshal and Building Official prior to issuance of a Certificate of Zoning Compliance for the theater. At the time of this memo, the public health and safety components have not yet been completed.

Furthermore, the applicant should be aware that any Commission authorization to issue a Certificate of Zoning Compliance would only deal with zoning requirements; it would not authorize issuance of a Certificate of Occupancy for the theater. There are outstanding issues that need to be addressed with the Building Official to demonstrate compliance with the Building Code that would need to be addressed prior to approval of a CO. For example, the November 12th email from the applicant indicates that restrooms would not be completed at the time they would be seeking a Certificate of Occupancy. If this is a requirement of the Building Code, no action by the

Commission to authorize the issuance of a Certificate of Zoning Compliance would supercede the requirement to have such facilities in place prior to issuance of a CO by the Building Official.

Summary

Any motion on this project should address the following issues:

- **Whether the proposed modifications identified in this memo and the September 20, 2015 letter from the applicant are appropriate.**
- **Whether to allow use of the amphitheater prior to completion of the installation of marble veneer on the ground level stage columns.**
- **Extension of the construction schedule for completing the project to September 30, 2017.**
- **Minor Plan Corrections:**
 - Handicap Parking in the northern and southern lot shall be revised to comply with both the Mansfield Zoning Regulations by locating the hatched areas to the right side of the space; per CT Building Code requirements, hatched areas cannot be shared between spaces.
 - Extend the fieldstone wall along Dog Lane to the western edge of the Exhibit Building, consistent with the original approval
 - Add a note requiring approval from the University of Connecticut and/or Connecticut Water Company for the proposed sewer and water service connections for the Exhibit Building prior to issuance of a permit for the Exhibit Building
 - Amend the construction schedule to include the revised completion date of September 30, 2017.
 - Add note requiring light fixtures shall have full cut-off shields and use white lamps (metal halide, fluorescent, incandescent or LED).



HELLENIC SOCIETY PAIDEIA
ΕΛΛΗΝΙΚΗ ΕΤΑΙΡΕΙΑ ΠΑΙΔΕΙΑ

September 20, 2015

**Town of Mansfield
Zoning Department
4 South Eagleville Road
Mansfield, CT 06268-2599**

Re: Greek Theater at Paideia Center

Dear Sir/Madam:

Revised architectural drawings for the exhibit building and the open air Greek theater at Paideia Center for Hellenic Studies, 28 Dog Lane submitted to your office.

These plans include designs for three sides of exhibit building, from the Greek theater and landscape around the facilities.

Exhibit Building:

- 1. The wall parallel to Dog Lane remains as the original.**
- 2. The high continuous wall adjacent to the theater has been replaced with Doric Greek columns on the outside and high glass windows on the perimeter. The view from Dog lane or from inside the theater will give a new dimension to the whole project.**
- 3. These plans retain the upper plaza.**
- 4. The Dog Lane side and all perimeter of upper plaza new plans have square posts with new metal railings between.**
- 5. Wheelchair and public access to upper plaza is from the upper parking lot in front of the existing educational building.**
- 6. Steps from upper plaza to lower level from Dog Lane side moved to opposite side of the buildings so as not to be seen from Dog Lane.**

Greek Theater:

- 1. Retaining wall around theater is lower by 6 ft.**



HELLENIC SOCIETY PAIDEIA
ΕΛΛΗΝΙΚΗ ΕΤΑΙΡΕΙΑ ΠΑΙΔΕΙΑ

2. Metal railings have been installed at the east outside perimeter with supportive concrete posts.
3. The outside and inside surface of concrete retaining wall is now covered with thin white mixture of white cement and lime instead of marble veneer.
4. At the Stage, second floor Logeion (porch) adjacent to the theater has now 9" square posts with marble railings to go between.
5. At the stage front wall and columns remains dressed with marble except for the second floor. The second floor is finished with stucco.
6. Stage second floor, top of front wall, the ochre Grecian Key design in fiber glass not marble.
7. The horizontal pass way on the top of theater is with peastone. The new plans have pavers 4 feet wide at the perimeter of last row of seats and at the entrances on the two opposite sides.
8. Stage roof clay tiles changed to reddish metal tiles

Landscape:

1. Some trees in the original plans stolen and some others did not survive.
2. To avoid the same fate most replaced trees are now white pine.
3. The new plans have Boston Ivy plants on the outside perimeter of theaters retaining wall.
4. The corridor from lower parking to the entrance of the theater is covered with pavers.
5. Access road changed from grass cement block pavers to processed gravel and continues to the entrance of the theater with pea stone cement block pavers.
6. Dumpster removed. Paideia Center produce very little trash. For special occasions using the theater during summer will make arrangements with a garbage disposal business to provide service for short periods on time.
7. Any existing trees damaged or removed during construction will be replaced.



HELLENIC SOCIETY PAIDEIA
ΕΛΛΗΝΙΚΗ ΕΤΑΙΡΕΙΑ ΠΑΙΔΕΙΑ

8. Runoff from the existing lower parking lot drains away from the building and crosses the curbless edge in sheet flow. Some of the runoff from this lot also crosses its southeast corner running over some lawn and then across existing rip rap. The rip rap is comprised of 4 to 5 inch angular stone which has been in place several years. There is no erosion below the outfall of the rip rap area. All the lawn in this area is stable with no evidence of erosion or siltation.
9. The amphitheater drains away through the lower entry to the southeast. The amphitheater sub-base, floor and seats have been in place over 5 years. There has been no subsidence, undermining of benches or floor nor erosion related to storm runoff.
10. Runoff on the north side of the theater drains along the east between the wall on Dog Lane and the wall of the amphitheater. The swale on the theater side of the Dog Lane wall carries much of the runoff from this side of the theater. Except for a small area adjacent the construction entry and the foundation for the proposed museum, the area is vegetated. This area has been in place over 5 years with no erosion evident.

The new revised plans are much more attractive.

It is our hope with your permission to start construction as soon as possible for the exhibit building but also to be able to start using the theater with a temporary permit.

Sincerely yours,

Ilias Tomazos

President

Hellenic Society Paideia, INC.

Linda M. Painter

From: ILIAS TOMAZOS <paideia@snet.net>
Sent: Tuesday, November 10, 2015 1:22 PM
To: Linda M. Painter
Subject: Greek Theater

Dear Linda,
Thank you for your call earlier today.
In my letter to you stated that the completion of the project will be fall 2016.
Paideia will make every effort to complete it as soon as possible but to be on the safe side please changed completion date for September 30, 2017.
Thank you for all your care!
Ilias

Ilias Tomazos, Director
PAIDEIA Study Abroad Programs in Greece
Center for Hellenic Studies PAIDEIA
28 Dog Lane, P.O.BOX 818, Storrs, CT 06268
Tel/Fax: (860)429-8518; (860)906-8458 cell
In Greece: (22410)41115; 6947337501 cell Email: ILIAS.TOMAZOS@UCONN.EDU
Email: PAIDEIA@SNET.NET
WWW.HELLENICSTUDIESPAIDEIA.ORG

Linda M. Painter

From: ILIAS TOMAZOS <paideia@snet.net>
Sent: Thursday, November 12, 2015 9:24 AM
To: Linda M. Painter
Cc: Curt B. Hirsch; Mike E. Nintean; Francis P. Raiola; Christos N. Bakes; Fotios Papadimitrakopoulos; Olga Allen Wright; JOHN ALEXOPOULOS; Stefanos Nousiopoulos; Christopher Ziogas; Paul Tsakopoulos
Subject: Re: Use of Amphitheater

Thank you, Linda.

Paideia is strongly interested to start using the open air Greek theater as soon as possible.

There are requests coming from Universities, high schools, Greek Communities and local groups for two years now.

The only item I see not to be completed by summer 2016, is at the stage to have dressed with marble veneer the six columns at ground level and the restrooms.

Getting the permit to start construction for the building will start completing at a fast pace also what left for the theater.

The use of the theater will help us very much the completion of the building in a shorter time.

Thank you for all your care!

Ilias

Ilias Tomazos, Director

PAIDEIA Study Abroad Programs in Greece

Center for Hellenic Studies PAIDEIA

28 Dog Lane, P.O.BOX 818, Storrs, CT 06268

Tel/Fax: (860)429-8518; (860)906-8458 cell

In Greece: (22410)41115; 6947337501 cell Email: ILIAS.TOMAZOS@UCONN.EDU

Email: PAIDEIA@SNET.NET

WWW.HELLENICSTUDIESPAIDEIA.ORG

From: Linda M. Painter <PainterLM@mansfieldct.org>
To: "paideia@snet.net" <paideia@snet.net>
Cc: Curt B. Hirsch <HirschCB@mansfieldct.org>; Mike E. Nintean <NinteanME@MANSFIELDCT.ORG>; Francis P. Raiola <RaiolaFP@mansfieldct.org>
Sent: Thursday, November 12, 2015 6:56 AM
Subject: Use of Amphitheater

Ilias-your letter indicates that you would like to start using the amphitheater. In previous requests, you were asking to use the amphitheater prior to completion of all improvements related to the amphitheater. If that is the case, you need to identify which improvements would not be complete at the time you want to start using it.

I will note that the Commission has previously expressed concerns with that request. It would be much simpler if you were to complete the required elements prior to asking for approval to use the theater. Typically when we get request for a CO in advance of completing certain items, it is a very limited list and the applicant has demonstrated that they have met the other code requirements (building/fire) before the Commission considers such a request. I don't believe that is the case at this time. Also know that the Commission cannot supercede building and fire code requirements. In other words, even if the Commission were to grant a request to use the facility, for example before the landscaping and stone wall along Dog Lane were installed, such approval would be meaningless unless you met all of the building and fire code requirements to get a Certificate of Occupancy.

Please let me know as soon as possible if you want to pursue this request at this time, and if so, what specifically would not be completed before requesting a CO.

Thanks,

Linda

Linda M. Painter, AICP

Director of Planning and Development
Town of Mansfield

Telephone: 860.429.3330

Fax: 860.429.6863

Email: painterlm@mansfieldct.org























INDEX.

CENTER FOR HELLENIC STUDIES
GREEK THEATER
PAIDEIA CENTER / UCONN CAMPUS

STRUCTURAL ENGINEER:

PAUL TSAKOPOULOS, PE

DRAWING INDEX

COLUMN LINE	 	SECTION DETAIL	
GRID LINE		DETAIL REFERENCE	  
DOOR SYMBOL	 	INTERIOR ELEVATION	
WINDOW TYPE		ROOM NAME/NUMBER	NAME 
EQUIPMENT TYPE		TEST BORING	 TB-1
REVISION		POINT ELEVATION	 111.00
MATCH LINE		BREAK LINE	
REFERENCE OR LEVEL LINE		PARTITION TYPE	
EXISTING SPOT GRADE	 616.5	PROPOSED SPOT GRADE	 616.5

A detailed site plan of the Greek Theatre and its surrounding facilities. The Greek Theatre is shown as a semi-circular structure with tiered seating. To its right is the Hellenic Study Center, a large rectangular building. Below the theatre is the Refuge / Exhibit Building, a complex polygonal structure. To the right of the Refuge / Exhibit Building is the Chapel, a small cross-shaped building. A north arrow is located in the top right corner, pointing towards the upper right.

GREEK THEATER

HELLENIC STUDY CENTER

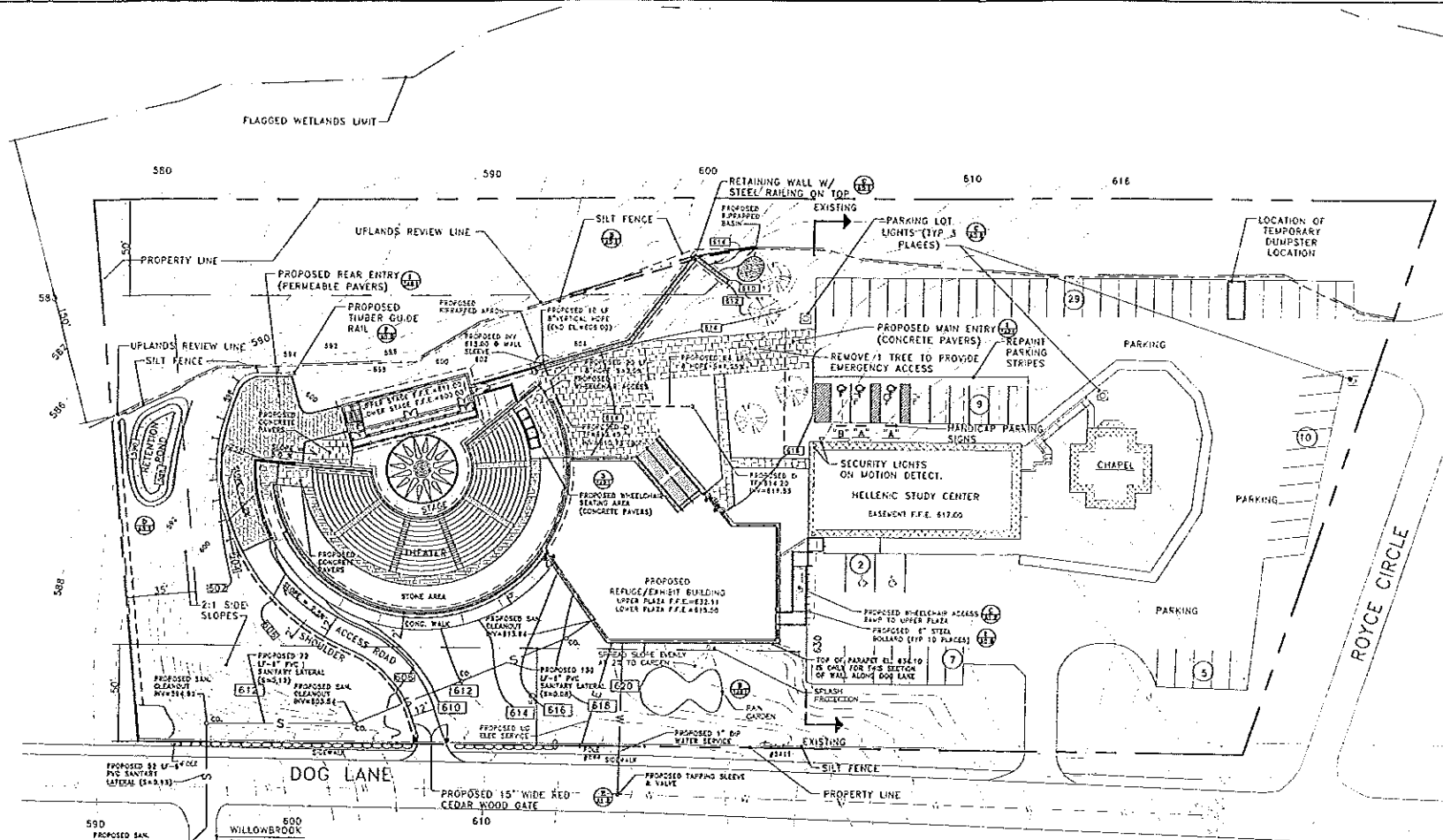
REFUGE / EXHIBIT BUILDING

CHAPEL

REVISED: 09/05/2015
REVISED: 04/29/2015
REVISED: 04/17/2015
REVISED: 01/05/2015
REVISED: 10/07/2014
REVISED: 05/14/2014
REVISED: 02/20/2014
REVISED: 09/25/2013
REVISED: 09/16/2013
REVISED: 07/01/2013
REVISED: 04/12/2013
REVISED: 03/22/2013
REVISED: 02/18/2013



A0.0



GENERAL NOTES

1. LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM.
2. RESTABILIZATION SHALL BE SCHEDULED AS SOON AS PRACTICAL.
3. GRADING AREAS SHALL BE LOANED AND SEEDING AS SOON AS POSSIBLE AFTER CONSTRUCTION WORK IS COMPLETED.
4. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED AT THE DISCRETION OF THE TOWN STAFF.
5. THE CONTRACTOR SHALL STAKE ALL GRADING LIMITS PRIOR TO INITIATING CLEARING ACTIVITIES ON THE SITE.
6. ALL DISTURBED AREAS SHALL BE PROTECTED WITH A MINIMUM VEGETATION COVER.
7. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE BY THE DESIGNATED ENTRANCE.
8. THE CONTRACTOR SHALL PLAN ALL LAND DISTURBING ACTIVITIES IN A MANNER AS TO MINIMIZE THE EXTENT OF THE DISTURBED AREAS WHILE ALLOWING PROPER DEVELOPMENT OF THE SITE. DURING CONSTRUCTION A SMALL AREA OF SOIL AS POSSIBLE, SHOULD BE EXPOSED FOR AS SHORT A TIME AS POSSIBLE.

A SITE PLAN

SCALE: 1" = 40'-0"

DESIGNATED ON-SITE AGENT

THE DESIGNATED INDIVIDUAL WHO WILL BE RESPONSIBLE FOR OVERSEEING THE PROPER INSTALLATION AND MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE: ILIAS TOMAZOS PHONE # 860-423-8518

THE ON SITE AGENT SHALL MAINTAIN WRITTEN RECORDS OF INSPECTIONS AND ACTIVITIES REGARDING THE S & EC CONTROLS. HE SHALL PROVIDE B-WEEKLY REPORTS TO THE TOWN'S DESIGNATED AGENT(S)

VEGETATIVE COVER SCHEDULE

ALL DISTURBED AREAS NOT LANDSCAPED SHALL BE LOANED WITH 4" MINIMUM OF TOPSOIL. SEED AS INDICATED BELOW. CONDITION SOIL WITH FERTILIZER AND LIME/STONE AS INDICATED BY SOIL CONDITIONS.

PERMANENT VEGETATION COVER:
SEEDING DATES: APRIL 1 TO JUNE 1 & SEPTEMBER 1 TO OCTOBER 1
LAWN AREAS:
USE THE FOLLOWING MIXTURE OR EQUAL AS APPROVED BY LANDSCAPE ARCHITECT.
KENTUCKY BLUEGRASS 45%
CREeping RED FESCUE 45%
PERENNIAL RYEGRASS 10%
APPLY 1-3 LBS./100 S.F.

TEMPORARY VEGETATIVE COVER:
SEEDING DATES: MARCH 1 TO JUNE 15 & AUGUST 1 TO OCTOBER 1
USE THE FOLLOWING MIXTURE OR EQUAL AS APPROVED BY LANDSCAPE ARCHITECT.
ANNUAL RYEGRASS 100%
APPLY 1-3 LBS./100 S.F.

DEVELOPMENT SCHEDULE:

IT IS ANTICIPATED THAT GRADING AND CONSTRUCTION WILL BEGIN WITH CLEARING, GRUBBING AND THE INSTALLATION OF THE STRAW BALES AND SILT FENCE, FOLLOWED BY ROUGH GRADING, ALL DRAINAGE STRUCTURES AND ASSOCIATED PIPING. THESE PROTECTIVE MEASURES SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION. ALSO AT THIS TIME THE SITE SHALL BE PREPARED FOR THE INSTALLATION OF UTILITIES. THESE UTILITIES SHALL BE INSTALLED UNDERGROUND AS REQUIRED BY THE APPROPRIATE TOWN AGENCY. FOLLOWING UTILITY INSTALLATION, AND FOUNDATION WORK, FINAL GRADING, SEEDING AND PLANTING SHALL BE COMPLETED IN AREAS NOT AFFECTED WITH ADDITIONAL CONSTRUCTION.

THE FOLLOWING SCHEDULE SHALL SERVE AS A GENERAL GUIDE TO THE SEQUENCE OF CONSTRUCTION ACTIVITIES FOR THE SEDIMENT AND EROSION CONTROL MEASURES. IT IS NOT INTENDED TO TAKE THE PLACE OF THE CONTRACTOR'S RESPONSIBILITY FOR DETAILED SCHEDULE OF ALL CONSTRUCTION ACTIVITIES.

THE DATES GIVEN BELOW ARE APPROXIMATE TO GIVE AN INDICATION OF OVERALL CONSTRUCTION SEQUENCE.

CLEARING AND GRADING	FALL 2005
START OF CONSTRUCTION	FALL 2005
BUILDING / UTILITY CONSTRUCTION	SPRING 2006
FINAL (INSTALL PAVING AT PLAZA)	FALL 2006
END OF CONSTRUCTION	FALL 2006

DEVELOPMENT CONTROL PLAN:

PRIOR TO COMMENCEMENT OF OPERATIONS IN ACCORDANCE WITH ANY PERMIT ISSUED BY THE TOWN OF MANSFIELD PLANNING AND ZONING COMMISSION, THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES. PRIOR TO THE COMMENCEMENT OF THE OPERATIONS, THE CONTRACTOR SHALL OBTAIN A SITE INSPECTION FROM THE TOWN OF MANSFIELD ZONING ENFORCEMENT OFFICER TO ENSURE THAT ALL EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH THIS NARRATIVE. UPON CERTIFICATION WITH RESPECT TO THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES, THE CONTRACTOR MAY COMMENCE OPERATIONS. PERSISTENT TO THE PERMIT, EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE "MAY BARRIER INSTALLATION & MAINTENANCE" AND "FILTER BARRIER INSTALLATION & MAINTENANCE" SECTIONS OF THIS NARRATIVE. WHENEVER A TEMPORARY VEGETATION COVER SHALL BE PROVIDED UNTIL A PERMANENT COVER CAN BE APPLIED. DURING THE STABILIZATION PERIOD, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN PROPER WORKING ORDER. THE OWNER SHALL BE RESPONSIBLE FOR CHECKING ALL EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS DURING THE STABILIZATION PERIOD AND AFTER EACH STORM EVENT. DURING THE STABILIZATION PERIOD WITH RESPECT TO THE SITE, ANY EROSION WHICH OCCURS WITHIN DISTURBED AREAS SHALL BE IMMEDIATELY REPAIRED, RESEEDING AND REVEGETATED.

ONCE STABILIZATION IS COMPLETE AND CERTIFICATION THEREOF OBTAINED IN WRITING FROM THE ZONING ENFORCEMENT OFFICER OF THE TOWN OF MANSFIELD EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED BY THE CONTRACTOR/OWNER.

PROPOSED TREES SHALL BE PLANTED WITH THE FOLLOWING PRECAUTIONS:

1. TREES AND SHRUBS SHALL BE PLANTED IN THE SPRING.
2. NEWLY PLANTED TREES SHALL BE STAKED AND SUPPORTED WITH GUY WIRE.
3. SOIL AROUND TREES AND SHRUBS SHALL BE THOROUGHLY WATERED WHEN DRY AND MULCH PROVIDED AROUND THE BASE TO PREVENT ROOTS FROM DRYING OUT. PROVIDE A DEPRESSION AT THE BASE OF ALL TREES AND SHRUBS TO INSURE THE WATER WILL BE RECEIVED AND RETAINED.

STRAW BALE INSTALLATION & MAINTENANCE:

1. STRAW BALES SHALL BE SECURELY ANCHORED WITH AT LEAST TWO STAKES, AND GAPS BETWEEN BALES SHALL BE WEDGED WITH STRAW TO PREVENT WATER FROM PASSING BETWEEN THE BALES.
2. INSPECT BALES AFTER EACH STORM REPAIR OR REPLACE PROMPTLY AS NEEDED. REMOVE SEDIMENT BEHIND THE BALES WHEN IT HAS REACHED HALF THE HEIGHT OF THE BALE AND IN AN AREA WHICH IS NOT REGULATED BY THE HEIGHT OF THE BALE AND IN AN AREA WHICH IS NOT REGULATED BY THE HEIGHT OF THE BALE AND IN AN AREA WHICH IS NOT REGULATED BY THE HEIGHT OF THE BALE AND IN AN AREA WHICH IS NOT REGULATED BY THE HEIGHT OF THE BALE.
3. INSPECTIONS AND NECESSARY REPAIRS SHALL BE MADE DAILY.

FILTER BARRIER INSTALLATION & MAINTENANCE:

1. DIG A 6" TRENCH ON THE UPHILL SIDE OF THE BARRIER LOCATION.
2. POSITION THE POSTS ON THE DOWNHILL SIDE OF THE BARRIER AND DRIVE THE POST 1.5 FEET INTO THE GROUND.
3. LAY THE BOTTOM 6" OF FABRIC IN THE TRENCH TO PREVENT UNDERMINING AND BACKFILL.
4. INSPECT AND REPAIR BARRIER AFTER HEAVY RAINFALL.
5. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH A HEIGHT OF ONE FOOT BEHIND THE BARRIER AND SHALL BE DEPOSITED IN AN AREA WHICH IS NOT REGULATED BY THE INLAND WETLANDS COMMISSION.
6. INSPECTIONS AND NECESSARY REPAIRS SHALL BE MADE TWICE WEEKLY.

ZONING INFORMATION

EXISTING ZONE	REQUIRED	PROVIDED
LOT AREA	PAR-90	
BUILT UP AREA (EXIST.)	90,000 S.F.	172,626 S.F.
BUILT UP AREA PROPOSED		12,600 S.F.
THEATER		19,600 S.F.
AREA OF REFUGE/EXHIBIT SPACE		(11,000 S.F.)
TOTAL BUILT UP AREA		8,600 S.F.
MAXIMUM HEIGHT	35'-0"	15'-6"
YARDS: FRONT	60'-0"	50'-0" *
SIDE	35'-0"	91'-0"
REAR	50'-0"	50'-0"
PARKING	60 SPACES	62 SPACES

ACCESS STREET: DOG LANE / SERVICE ROAD

	TOWN	STATE	PRIVATE
SEWAGE DISPOSAL			
WATER - DOMESTIC			
OTHER			
STORM DRAINAGE			

BUILDING / STRUCTURE INFORMATION

TWO STORY CONCRETE AND MASONRY CLASSICAL GREEK

USE GROUP A-5, A-3

TYPE OF CONSTRUCTION 2-C

* A VARIANCE WAS ISSUED FOR THE 50'-0" SETBACK

LEGEND:

- EXISTING STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS
- NEW OR REQUIRED POINT ELEVATION
- PROPERTY LINE
- SET BACK LINE

NOTES:

SITE INFORMATION INCLUDING TOPOGRAPHY AND PROPERTY LINES AND LOCATION OF EXISTING BUILDINGS WERE TAKEN FROM DRAWINGS PREPARED BY MEEHAN ASSOCIATES CONSULTING ENGINEERS-SURVEYORS, P.C. 387 NORTH MAIN ST. MANCHESTER, CT. 06040

DRAWINGS TITLED "THE HELLENIC SOCIETY PAIDEIA, INC." FILE #89080 AND DATED: 8/31/1989, 3/27/1990, AND 5/29/1990.

PROPOSED ELEVATIONS OF NEW STRUCTURES ARE BASED ON ELEVATION OF LOWER LEVEL OF HELLENIC CENTER AT 617.00'.

SEE S2 FOR ADDITIONAL DETAILS AND INFORMATION.

B FILTER BARRIER/SILT FENCE

NO SCALE

C RETAINING WALL

SCALE: 1/2" = 1'-0"

D RETENTION POND DETAIL

NOT TO SCALE

RUNOFF CALCULATIONS:

AREA 1 - PROPOSED PAVED AREA S.W. OF STADIUM
ASSUMED @ 90% RUN OFF = 0.562 ACRES.

AREA 2 - PROPOSED THEATER AREA ASSUMED
@ 60% RUN OFF = 0.404 ACRES.

PRE DEVELOPMENT: TOTAL AREA = 0.966 ACRES.
 $t_c = 10 \text{ MIN.} - R_{25} = 6.6 \text{ MIN.} / \text{HR} = 35\% \text{ RUNOFF}$
 $Q_{25} \text{ PREDEV.} = 0.966 \times 0.35 \times 5.6 = 1.89 \text{ C.F.S.}$

POST DEVELOPMENT: 0.562 AC. @ 90% t_c 0.409 AC. @ 60%
 $t_c = 7.5 \text{ MIN.} - R_{25} = 6.2 \text{ IN.} / \text{HR.}$
 $Q_{25} \text{ POST} = 0.562 \times 0.90 \times 6.2 + 0.404 \times 0.60 \times 6.2 = 3.13 + 2.00 = 5.13 \text{ C.F.S.}$

INCREASE IN RUNOFF = 5.13 C.F.S. - 1.89 C.F.S. = 3.24 C.F.S.
 $A = 1/2 (3.24)(300) + 1/2 (3.24)(600)$
 $= 486 \text{ C.F.S.} \times 9.72 \text{ C.F.} = 1,458 \text{ C.F.}$

3.34 C.F.S.
300 SEC. 600 SEC.

PROP. RETENTION POND 16' X 32' = 512 SQ. FT. 1458 C.F./512 S.F. = 2.85'
MAKE 3'-0" DEEP

E HAY BALE DETAIL

NO SCALE



REVISIONS

09/02/2005	09/25/2013	09/05/2015
02/18/2013	03/20/2014	
03/22/2013	10/07/2014	
04/12/2013	01/05/2015	
07/01/2013	04/17/2015	
09/16/2013	04/29/2015	

CENTER FOR HELLENIC STUDIES
PAIDEIA (UCONN)
DOG LANE
MANSFIELD, CONNECTICUT

SITE PLAN
OVERALL

AS SHOWN 05/26/2008

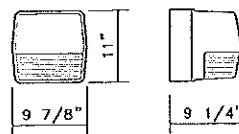
ARCHITECTURE
PLANNING
DEVELOPMENT

Stephen Neustepoulos, AIA
377 West Main Street • Norwich, CT 06040
Office Phone 860.843.0012
Email: sneustepoulos@scn.net

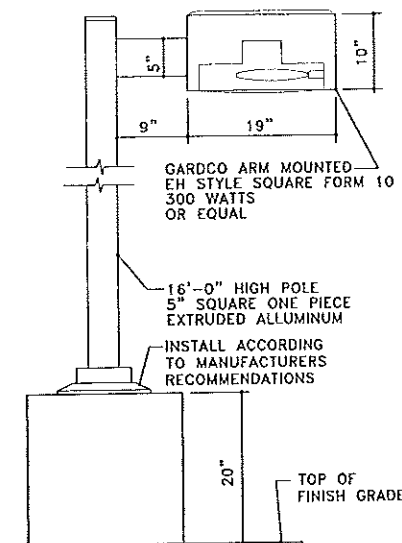
SCN
STEPHEN C. NEUSTEPOULOS
CONSULTING ENGINEERS-SURVEYORS

A0.1

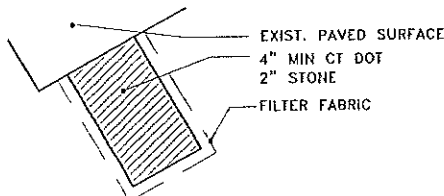
WALL MOUNT DIE CAST ALUMINUM
100 WATT H.I.D.



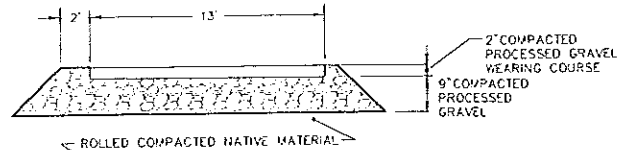
B WALL LIGHT
NO SCALE



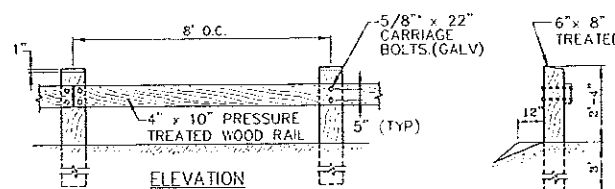
C POLE LIGHT
NO SCALE



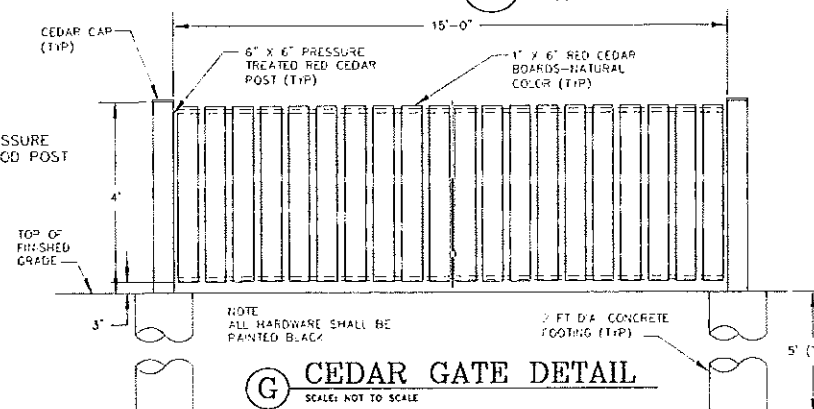
D CONSTRUCTION ENTRANCE
NO SCALE



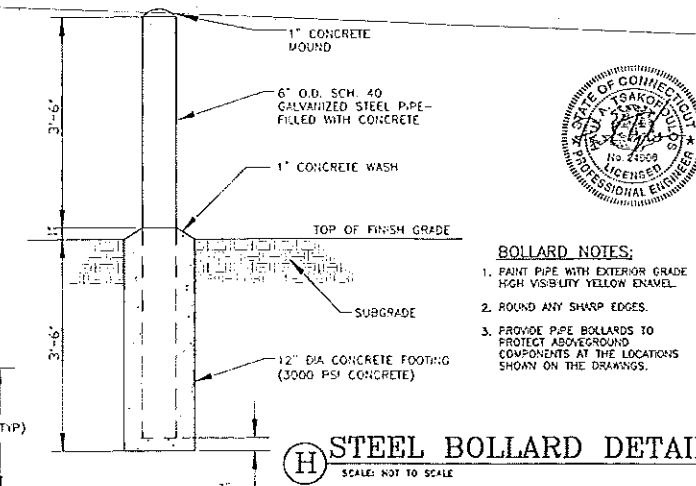
E ACCESS ROAD DETAIL
NO SCALE



F TIMBER GUIDERAIL DETAIL
SCALE: NOT TO SCALE

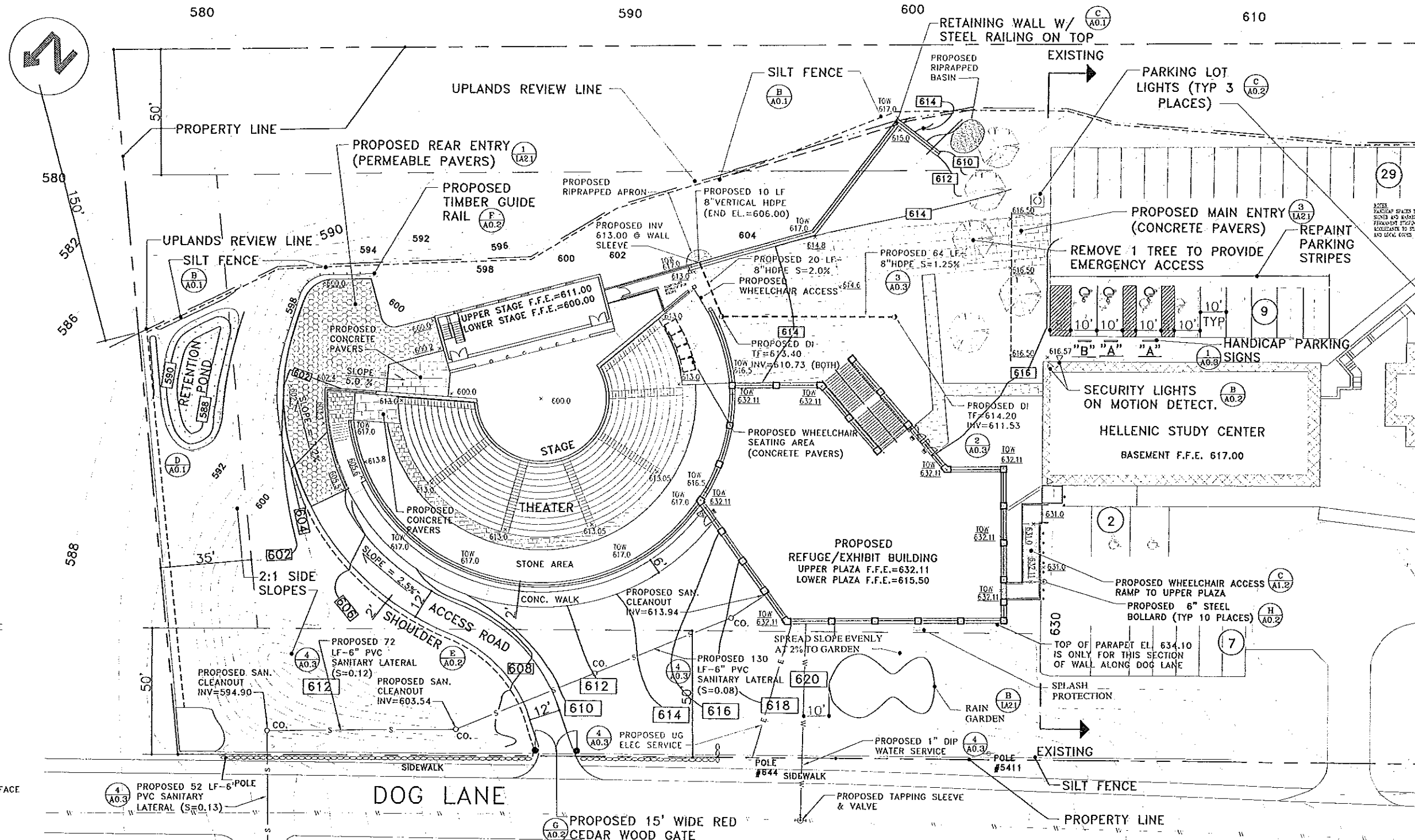


G CEDAR GATE DETAIL
SCALE: NOT TO SCALE



H STEEL BOLLARD DETAIL
SCALE: NOT TO SCALE

BOLLARD NOTES:
1. PAINT PIPE WITH EXTERIOR GRADE
HIGH VISIBILITY YELLOW ENAMEL.
2. ROUND ANY SHARP EDGES.
3. PROVIDE PPE BOLLARDS TO
PROTECT ABOVEGROUND
COMPONENTS AT THE LOCATIONS
SHOWN ON THE DRAWINGS.



SITE PLAN
PROPOSED

AS SHOWN 05/26/2008

ARCHITECTURE
PLANNING
DEVELOPMENT



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phone: 203.841.0000
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REVISIONS	09/02/2005	07/01/2013	04/17/2015
	12/12/2009	09/16/2013	04/29/2015
	04/01/2010	09/25/2013	09/05/2015
	02/18/2013	03/20/2014	
	03/22/2013	10/07/2014	
	04/12/2013	01/05/2015	

CENTER FOR HELLENIC STUDIES
PAIDEIA (UCONN)

DOG LANE
MANSFIELD, CONNECTICUT

A0.2

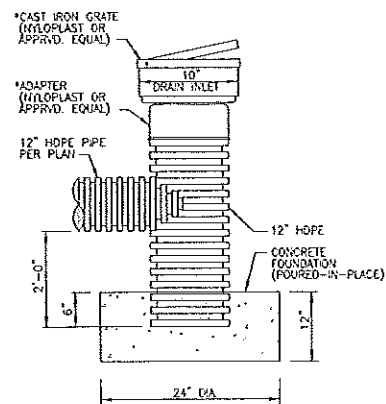


TYPE "A"



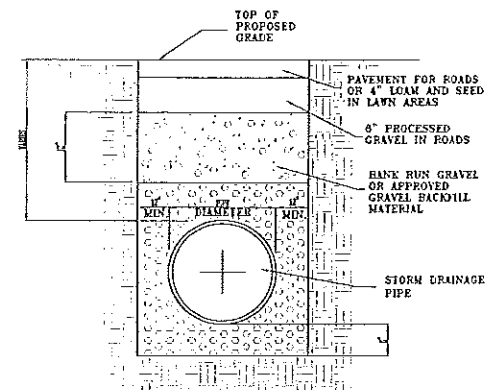
TYPE "B"

1 HANDICAP PARKING SIGNS
NO SCALE



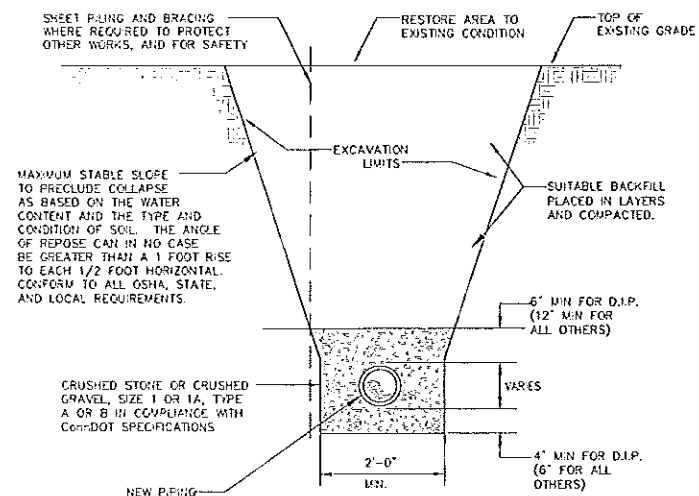
* NYLOPLAST DISTRIB. "EPPCO" TEL. (850)-666-5634

2 DRAIN INLET (DI) DETAIL
NO SCALE



- NOTES: 1. IF PIPE IS PLACED IN OR ON LEDGE, ALL LEDGE WITHIN 12" OF PIPE SHALL BE REMOVED AND REPLACED WITH PIPE BEDDING.
2. MINIMUM PIPE COVER SHALL CONFORM TO MANUFACTURER'S SPECIFICATIONS.

3 STORM PIPE TRENCH DETAIL
NOT TO SCALE



4 NEW TRENCH AND BEDDING
NOT TO SCALE

REVISIONS	
09/05/2015	

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PAIDEIA (UConn)
DOG LANE
MANSFIELD, CONNECTICUT

SITE UTILITIES
DETAILS

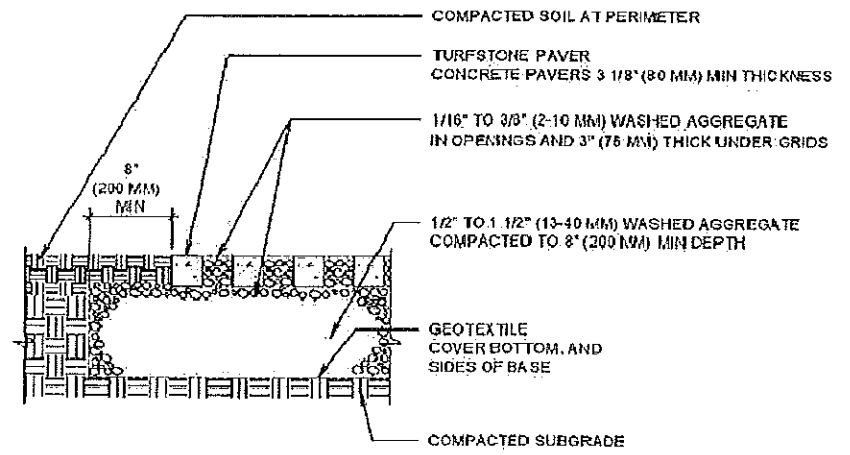
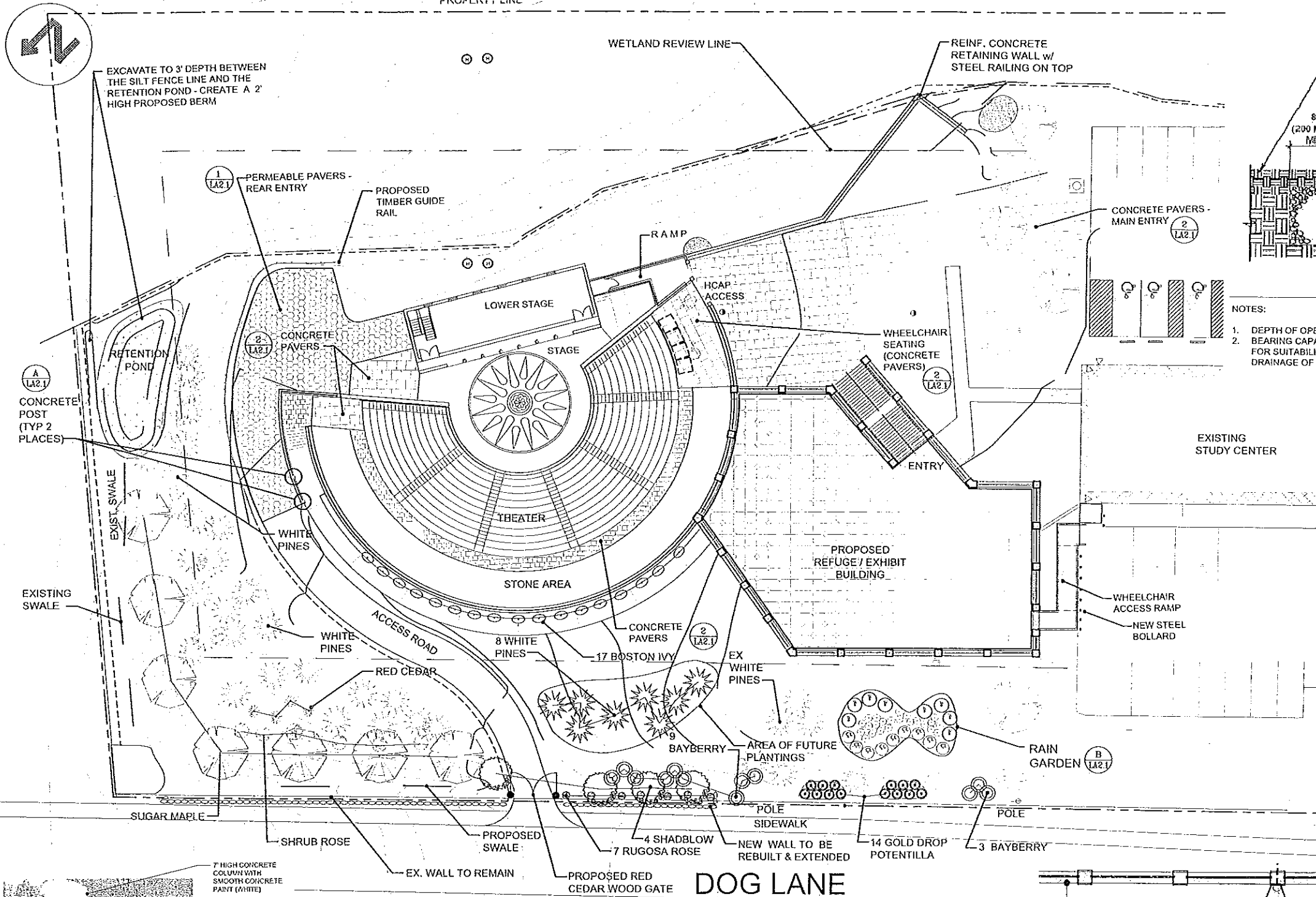
AS SHOWN 05/26/2008

ARCHITECTURE
PLANNING
DEVELOPMENT
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Email: snounopoulos@uconn.edu



A0.3



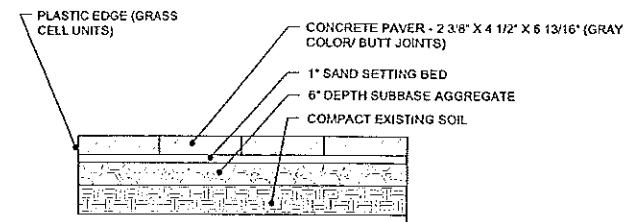


NOTES:

1. DEPTH OF OPEN GRADED BASE WILL EFFECT RUNOFF STORAGE CAPACITY. BEARING CAPACITY AND PERMEABILITY OF SOIL SUBGRADE SHOULD BE EVALUATED FOR SUITABILITY WITH APPLICATION, TRAFFIC AND STORM WATER STORAGE CRITERIA. DRAINAGE OF SUBGRADE MAY BE REQUIRED.
- 2.

1 TYPICAL PERMEABLE STONE PAVERS

NOT TO SCALE



2 CONCRETE PAVERS (WHEELCHAIR SEATING)

NOT TO SCALE

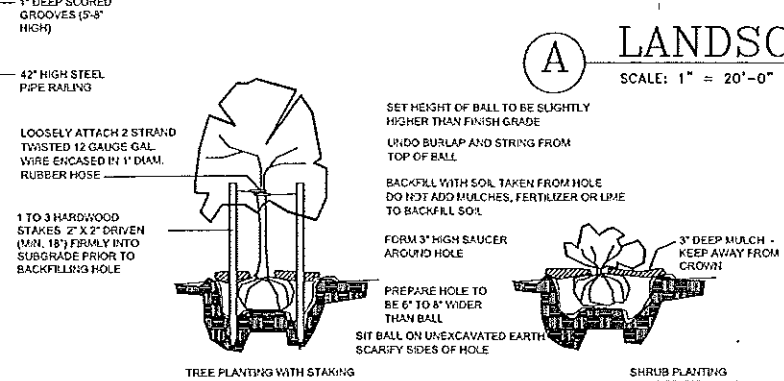
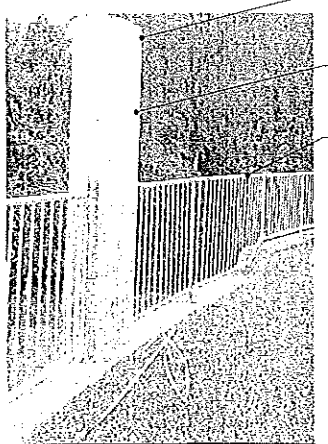
RAIN GARDEN MAINTENANCE NOTES:

INSTALLATION MAINTENANCE:

WATER REGULARLY AS NOTED BELOW TO ESTABLISH PLANTINGS. REPLACE ANY DEAD PLANTS. MAINTAIN MULCH LEVELS AT 3" DEPTH. PRUNE OUT ANY DEAD TWIGS ONLY.

REGULAR MAINTENANCE:

1. WEEDING SHALL BE DONE DURING THE ESTABLISHMENT PERIOD IN PARTICULAR AND ALSO DURING SUBSEQUENT YEARS. KEEPING OUT WOODY INVASIVE WEEDS IS MOST IMPORTANT.
2. NO FERTILIZATION IS REQUIRED AS THE PLANTINGS ARE ADAPTIVE TO LOWER NUTRIENT LEVELS. MAINTAINING THE COVER OF MULCH WILL PROVIDE SUPPLEMENTAL NUTRIENTS AS WILL FALLING LEAVES FROM THE PLANTINGS THEMSELVES. FALLING LEAVES SHALL NOT BE REMOVED. MAINTAIN MULCH UNTIL PLANTINGS COVER THE ENTIRE AREA THEN DISCONTINUE MULCHING.
3. EACH SPRING MULCHING SHALL BE DONE BY SPREADING A SHALLOW LAYER, NO MORE THAN 2 TO 3 INCHES IN TOTAL DEPTH SHOULD BE MAINTAINED. MULCH MATERIAL SHALL BE SHREDDED BARK, EITHER PINE OR HEMLOCK. MULCH MATERIAL SHALL NOT BE DYED. CARE SHALL BE TAKEN IN MOVING MULCH AWAY FROM THE BASE OF ANY SHRUB. MULCH SHOULD NOT TOUCH ANY STEM OR BRANCH.
4. PRUNING OF ANY DEAD TWIGS SHALL BE DONE AS NEEDED. HEAVY PRUNING IS NOT REQUIRED.
5. SUPPLEMENTAL IRRIGATION IS NOT NECESSARY EXCEPT FOR THE ESTABLISHMENT PERIOD, THE FIRST GROWING SEASON. AFTER PLANTING, EACH PLANT SHOULD BE FLOODED. SUBSEQUENT FLOODING SHOULD BE DONE WITHIN A WEEK OF THE FIRST FLOODING THEREAFTER, THE PLANTINGS SHOULD BE WATERED WHEN REQUIRED FOR MAINTAINING A MOIST LEVEL IN THE GROUND.

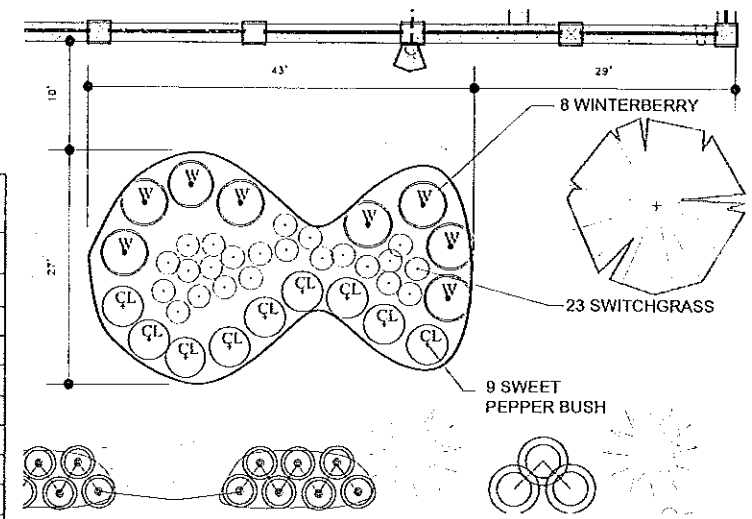


A LANDSCAPE PLAN

SCALE: 1" = 20'-0"

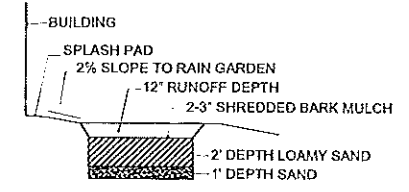
Symbol	Code	Name / Scientific Name	Quantity	Size
○	SH	SHADELOW / AMELANCHIER CANADENSIS	4	6' - 10' high
☼	CS	COLORADO SPRUCE / PICEA PUNGENS	8	6' - 7' high
○	BI	BOSTON IVY / PARthenocissus TRICUSPIDATA	17	1 GAL. SIZE
○	WB	WINTERBERRY / ILEX VERTICILLATA	6	3 GAL. SIZE
○	SP	SWEET PEPPER BUSH / CLETHRA ALNIFOLIA	9	3 GAL. SIZE
○	RR	RUGOSA ROSE / ROSA RUGOSA	7	3 GAL. SIZE
○	BB	BAYBERRY / MYRTICA PENNSYLVANICUM	12	24" - 36" high
○	GD	GOLD DROP POTENTILLA / POTENTILLA FRUTICOSA 'GOLD DROP	4	6' - 10' high
○	SW	SWITCHGRASS / PANICUM VIRGATUM	23	42 POT. SIZE

GRASS SEED MIX: 75% FESCUE, 25% KENTUCKY BLUEGRASS



B RAIN GARDEN LANDSCAPE PLAN

SCALE: 1" = 10'-0"



RAIN GARDEN DETAIL

NOT TO SCALE



REVISIONS

09/02/2005	09/16/2013	04/17/2015
12/12/2009	09/25/2013	07/01/2015
02/18/2013	03/20/2014	
03/22/2013	10/07/2014	
04/12/2013	01/05/2015	
07/01/2013	04/17/2015	

CENTER FOR HELLENIC STUDIES

PAIDEIA (UConn)

DOG LANE

MANSFIELD, CONNECTICUT

LANDSCAPE PLAN

JOHN ALEXOPOULOS, RLA, ASLA

LANDSCAPE ARCHITECT

AS SHOWN

05/26/2008

ARCHITECTURE

PLANNING

DEVELOPMENT

SCN ASSOCIATES

Stephen Nounopoulos, AIA

202 New Main Street • Norwalk, CT 06854

Phone: 203.841.0012

Email: snounopoulos@scnassoc.com

LA2.1

GENERAL NOTES:

TILE FLOOR FINISHES

- SUBMIT ONE SAMPLE PANEL APPROXIMATELY 12" SQUARE FOR EACH TILE COLOR PATTERN INTENDED TO BE USED.
- DELIVER ALL PRODUCTS TO JOB SITE IN MANUFACTURER'S UNOPENED CONTAINERS.
- MAINTAIN TEMPERATURE AT 50°F MINIMUM DURING TILEWORK AND FOR 7 DAYS AFTER COMPLETION.
- DETERMINE LOCATIONS OF ALL MOVEMENT JOINTS BEFORE STARTING TILEWORK.
- DETERMINE LOCATIONS OF ALL ACCESSORIES BEFORE STARTING TILEWORK.
- LAYOUT ALL TILEWORK SO AS TO MINIMIZE CUTS LESS THAN ONE-HALF TILE IN SIZE.
- LOCATE TILE CUTS BOTH WALLS AND FLOORS SO AS TO BE LEAST CONSPICUOUS.
- ALIGN ALL WALL JOINTS TO GIVE STRAIGHT UNIFORM GROUT LINES, PLUMB AND LEVEL.
- ALIGN ALL FLOOR JOINTS TO GIVE STRAIGHT UNIFORM GROUT, PARALLEL WITH WALLS.
- SUPPLY FIRST-CLASS WORKMANSHIP IN ALL TILEWORK.
- USE ALL PRODUCTS IN STRICT ACCORDANCE WITH RECOMMENDATIONS AND DIRECTIONS OF MANUFACTURERS.
- PROPORTION ALL MIXES IN ACCORDANCE WITH LATEST ANSI STANDARD SPECIFICATIONS.
- FOLLOW GROUT MANUFACTURE'S RECOMMENDATIONS AS TO GROUTING PROCEDURES AND PRECAUTIONS. USE COLOR WHITE FOR GROUT.
- USE "AMERICAN OLEAN" COMMERCIAL PRODUCTS.

ADMINISTRATION

- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE PORTIONS OF THE CONNECTICUT BASIC BUILDING CODE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS FACILITIES DURING CONSTRUCTION.
- ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS:
 - IT SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE BY THE BOARD, OR.
 - SHALL HAVE BEEN ACCEPTED FOR USE UNDER THE PRESCRIBED CODE TEST METHODS BY THE BUILDING DEPARTMENT.
- AT LEAST 24-HOUR WRITTEN NOTICE SHALL BE GIVEN TO THE BUILDING DEPARTMENT BEFORE COMMENCEMENT OF WORK.
- ALL NOTES MENTION HEREIN WITH THOSE ON THE VARIOUS DRAWINGS SHALL APPLY TO ALL DRAWINGS AND FORM PART OF THE CONTRACT.
- EACH CONTRACTOR WILL BE HELD STRICTLY RESPONSIBLE FOR HIS WORK. ANY DISCREPANCIES IN THE PLANS OR DETAILS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT.
- ALL DIMENSIONS SHALL BE VERIFIED BEFORE COMMENCEMENT OF WORK BY THE RESPECTIVE CONTRACTORS.

MEANS OF EGRESS

- ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES.
- ILLUMINATION OF AT LEAST 5 FOOT-CANDLES MEASURED AT THE FLOOR LEVEL BE MAINTAINED CONTINUOUSLY, DURING OCCUPANCY, IN EXITS AND THEIR ACCESS FACILITIES.
- EXIT LIGHTING SHALL BE ON CIRCUITS THAT ARE SEPARATE FROM ANY OTHER CIRCUITS, TAKEN OFF AHEAD OF THE MAIN SWITCH.
- LOCATION OF EVERY EXIT SHALL BE CLEARLY INDICATED BY THE EXIT SIGNS, PLACED, IF REQUIRED, AT AN ANGLE WITH THE EXIT OPENING. INSTALL DIRECTIONAL SIGNS TO SERVE AS GUIDES FROM ALL PORTIONS OF THE CORRIDOR OR FLOOR. SIGNS SHALL BE ON SEPARATE CIRCUITS, TAKEN OFF AHEAD OF THE MAIN SWITCH.
- EXIT SIGNS SHALL BE INTERNALLY LIGHTED, HAVING AN INITIAL BRIGHTNESS OF THE LETTERS OF AT LEAST 25 FEET-LAMBERTS. LETTERS SHALL BE RED, THE BACKGROUND SHALL BE WHITE. LETTERS SHALL BE BLOCK LETTERING, AT LEAST, WITH 9/16" STROKES.
- PROVIDE "STATEMENT OF SPECIAL INSPECTIONS" AS REQUIRED BY SECTION 1705.3 OF THE CONNECTICUT SUPPLEMENT.

DOOR SCHEDULE

PANIC EXIT DEVICES TO BE BY CORBIN RUSSWIN
ED8000 SERIES PUSH/PULL EXIT DEVICES

NO	SIZE	DOOR	FRAME	THRESH	DR TYPE	FR TYPE	REMARKS	PASSAGE SET	KEY IN SET	PRIVACY SET	PANIC BAR	PUSH PULL	WALL BUMPER DOOR STOP	ONE WAY MIRROR GLASS	GARAGE DOOR OPENER	PNEUMATIC DOOR OPENER	DEADBOLT	DOOR CLOSER	WEATHERSTRIP
1	6'3"x7'0"x1-3/4"	GLASS	MTL	MTL															
2	6'3"x7'0"x1-3/4"	GLASS	MTL	MTL															
3	6'3"x7'0"x1-3/4"	MTL	MTL	MTL															
4	6'3"x7'0"x1-3/4"	GLASS	MTL	MTL															
5	6'0"x7'0"x1-3/4"	GLASS	MTL	MTL															
6	3'0"x7'0"x1-3/4"	WD-SC	MTL	MTL															
7	3'0"x7'0"x1-3/4"	WD-SC	MTL	MTL															
8	3'6"x7'0"x1-3/4"	MTL	MTL	MTL			2 HR												
9	3'0"x7'0"x1-3/4"	MTL	MTL	MTL			2 HR												
10	3'6"x7'0"x1-3/4"	MTL	MTL	MTL															

WALL TYPE "A"
NONBEARING WALL

WALL TYPE "B"
NONBEARING WALL

LOWER FLOOR PLAN

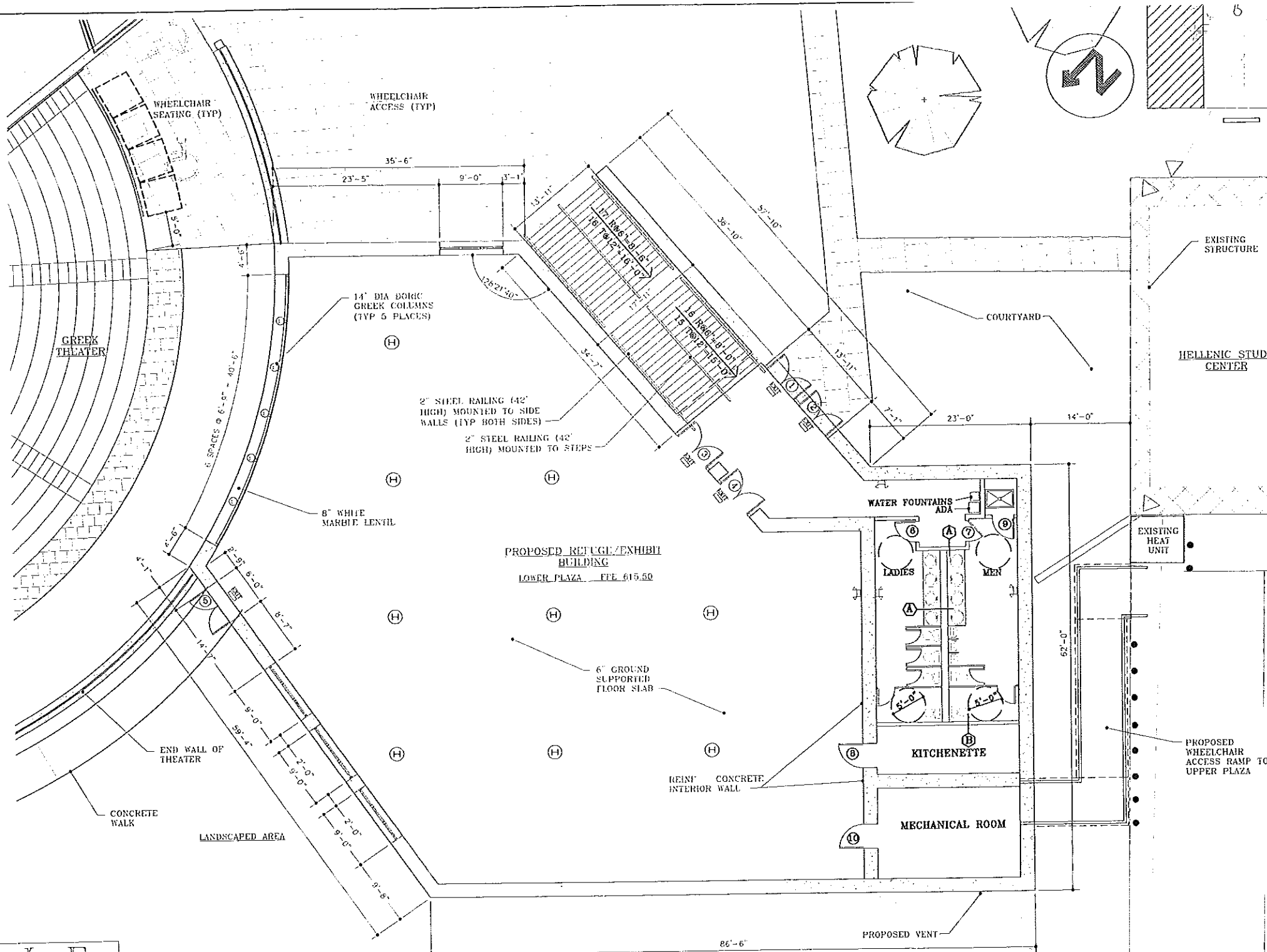
SCALE: 1/8" = 1'-0"

TYPE "A" WALL ASSEMBLY
5/8" GYPSUM BOARD
4" METAL STUD @ 16" O.C.
1" FRICTION FIT BATT INSULATION
5/8" GYPSUM BOARD

NOTE:
SUBSTITUTE TYPICAL GYPSUM BOARD WITH
WATER RESISTANT GYPSUM BOARD @ ALL
BATHS AND RESTROOM SIDES

TYPE "B" WALL ASSEMBLY
2 LAYERS 5/8" TYPE X GYPSUM BOARD
4" METAL STUD @ 16" O.C.
1" FRICTION FIT BATT INSULATION
2 LAYERS 5/8" TYPE X GYPSUM BOARD

NOTE:
2 HOUR RATING
UL - R1319



REVISIONS	DATE	DESCRIPTION
1	09/05/2015	
2	07/01/2013	
3	09/16/2013	
4	09/25/2013	
5	05/14/2014	
6	10/07/2014	
7	01/05/2015	

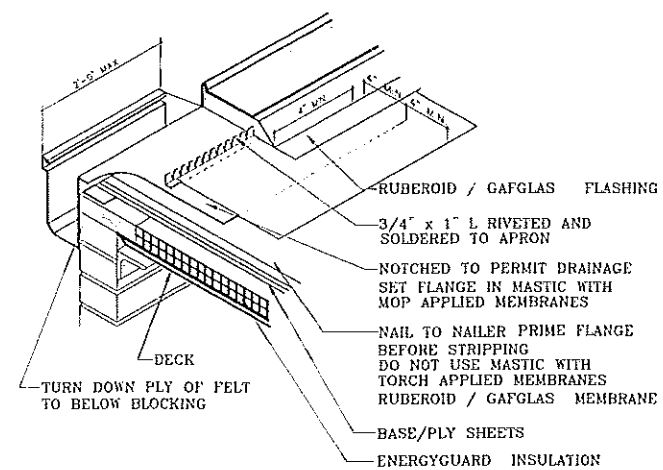
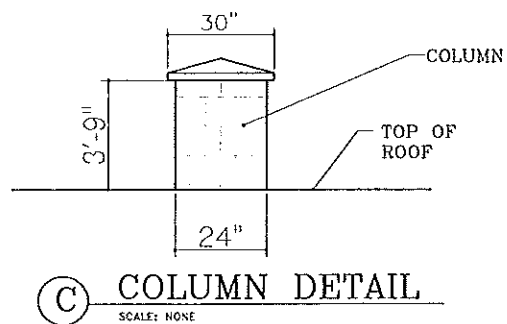
CENTER FOR HELLENIC STUDIES
PAIDEIA (UCONN)
DOG LANE
MANSFIELD, CONNECTICUT

REFUGE/EXHIBIT BUILDING
LOWER LEVEL
AS SHOWN 05/26/2008

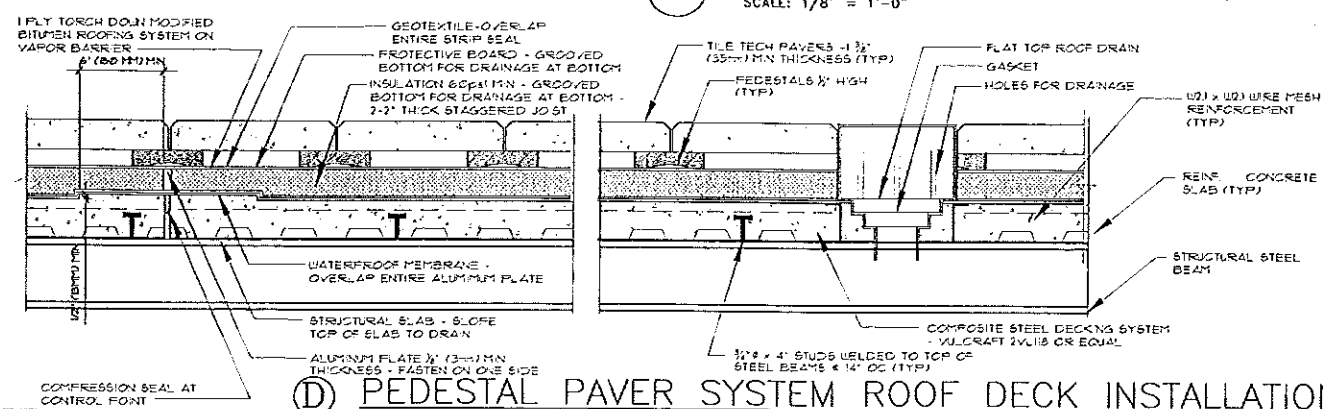
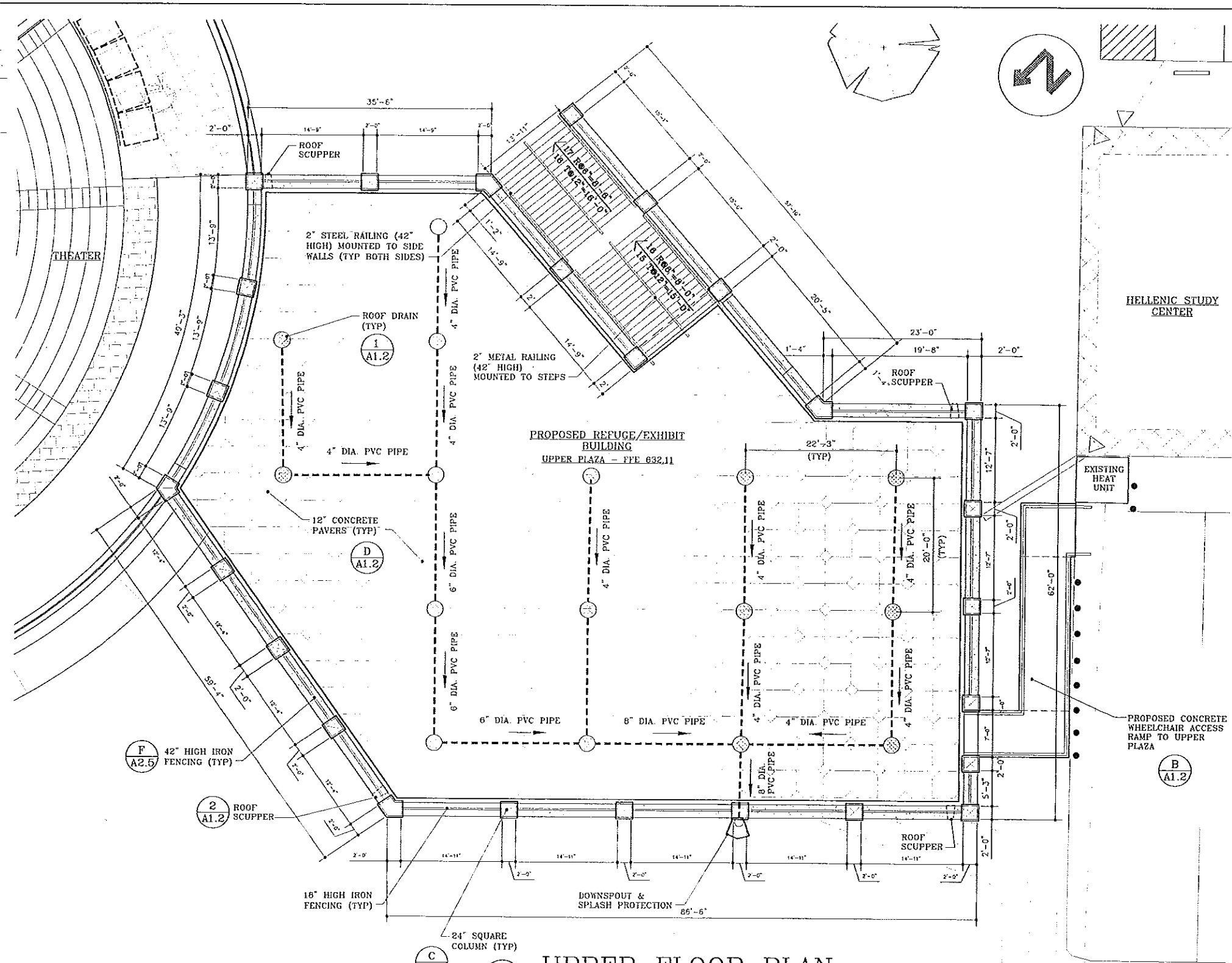
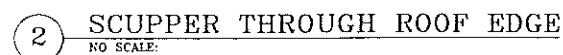
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Email: stephan@neustropoulos.com



A1.1



1. THIS DETAIL SHALL BE USED ONLY WHERE THE DECK IS SUPPORTED BY THE OUTSIDE WALL. TO INSTALL AFTER THE BUILDING IS COMPLETED. THIS DETAIL SHALL BE USED TO RELIEVE STANDING WATER IN AREAS ALONG THE ROOF EDGE. ALL ROOF SURFACES SHOULD BE SLOPED TO DRAIN.
3. ATTACH NAILER TO MASONRY WALL. REFER TO CURRENT FACTORY MUTUAL LOSS PREVENTION
4. WOOD NAILERS MAY BE SLOTTED FOR VENTING WHERE REQUIRED.



REVISIONS	
9/2/2005	07/01/2013 09/05/2015
12/12/2009	09/16/2013
05/10/2011	09/25/2013
02/18/2013	05/14/2014
03/22/2013	10/07/2014
04/12/2013	01/05/2015

CENTER FOR HELLENIC STUDIES
PAIDEIA (UCONN)

DOG LAKE
MANSFIELD, CONNECTICUT

REFUGE/EXHIBIT BUILDING
UPPER LEVEL

AS SHOWN	05/26/2008
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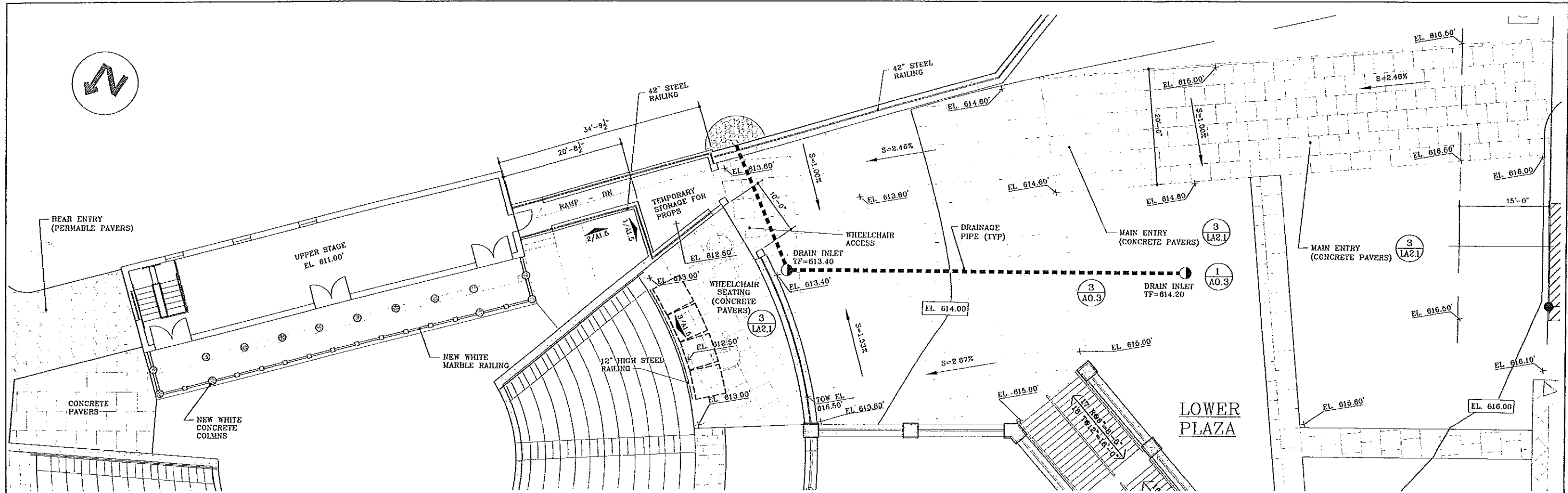
PLANNING DEVELOPMENT

372 West Main Street • Norwalk, CT 06850
Office/Fax 860.274.0512
e-mail: info@kyleandparker.com

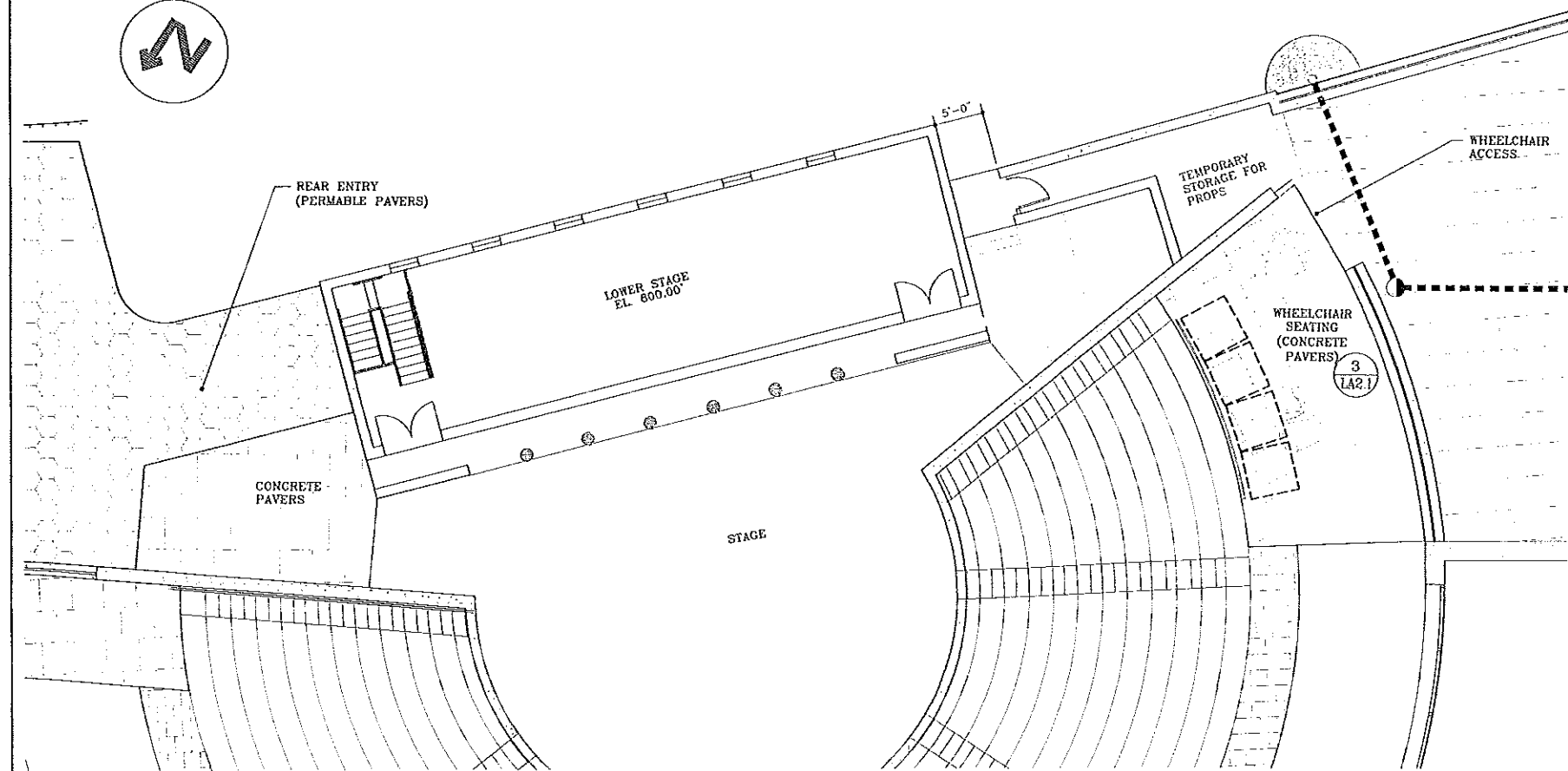


A1.2

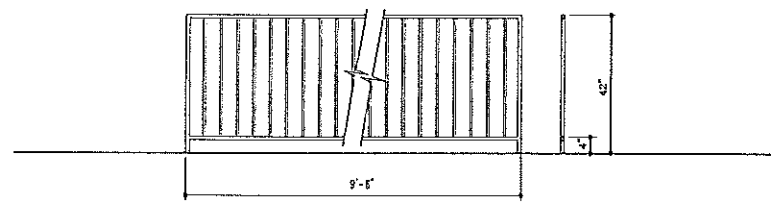




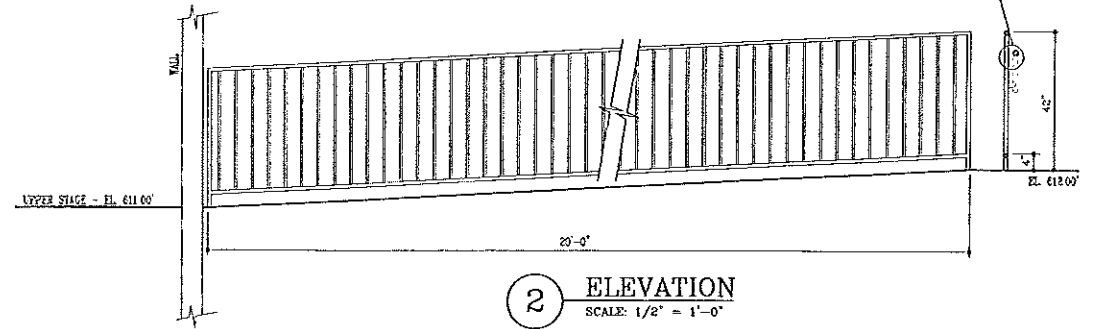
B UPPER STAGE
SCALE: 1/8" = 1'-0"



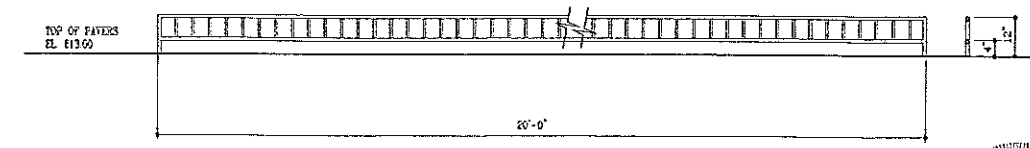
A LOWER STAGE
SCALE: 1/8" = 1'-0"



1 ELEVATION
SCALE: 1/2" = 1'-0"



2 ELEVATION
SCALE: 1/2" = 1'-0"



3 ELEVATION
SCALE: 1/2" = 1'-0"

REVISIONS			
09/02/2005	04/22/2013	09/05/2015	
12/12/2007	07/01/2013		
04/01/2010	09/16/2013		
02/18/2013	09/25/2013		
03/22/2013	10/07/2014		
04/22/2013	01/05/2015		

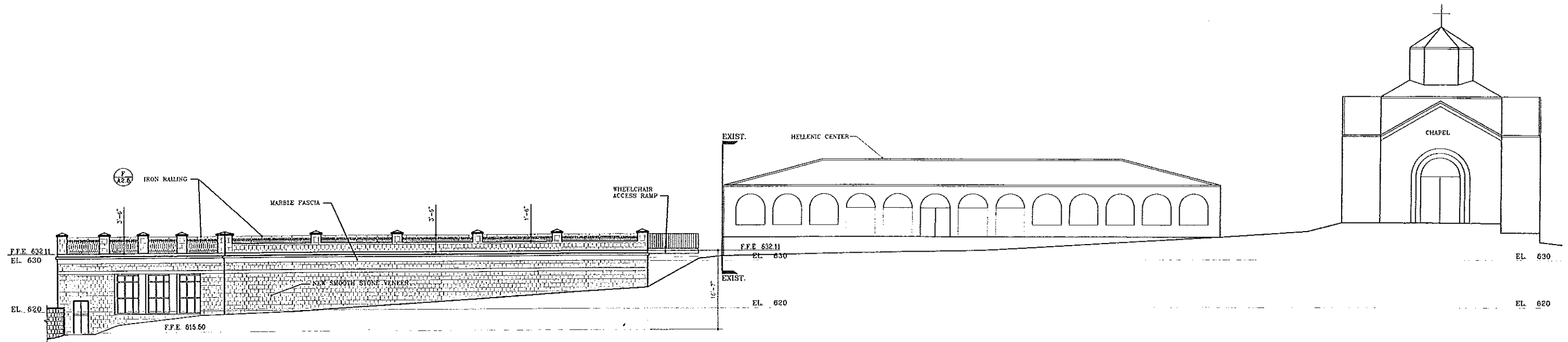
CENTER FOR HELLENIC STUDIES
PAIDEIA (UCONN)
DOG LANE
MANSFIELD, CONNECTICUT

UPPER AND LOWER STAGE
AS SHOWN | 05/26/2008

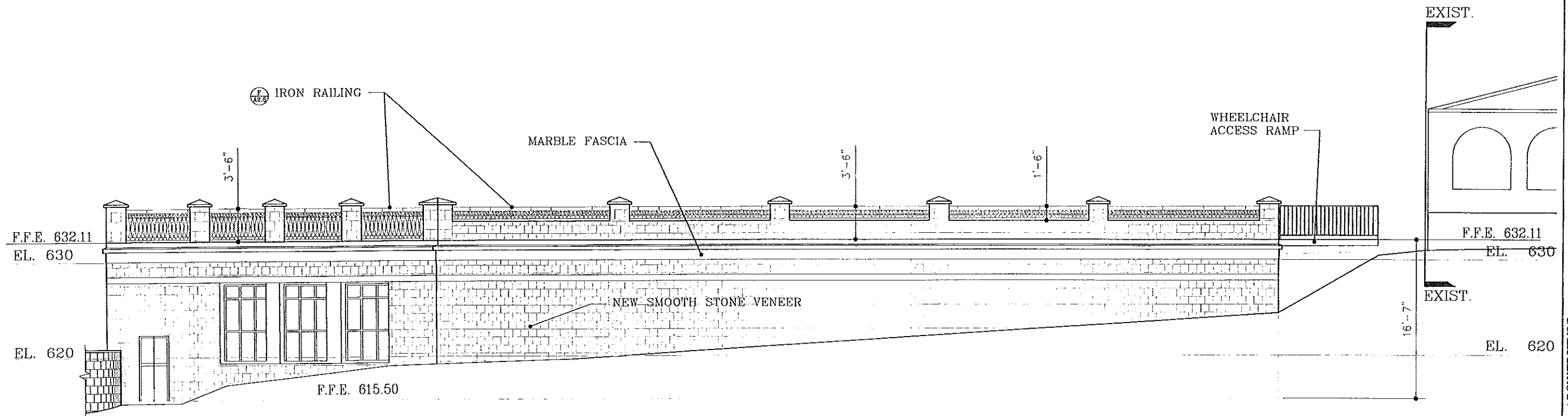
ARCHITECTURE
PLANNING
DEVELOPMENT
Stephan Neustorfer, AIA
375 West Main Street, New Rochelle, NY 10801
Office: 914.261.1212
Mobile: 914.261.1212



A1.5



(A) NORTHEAST ELEVATION - OVERALL
SCALE: 1" = 10'-0"



(B) NORTHEAST ELEVATION - REFUGE/EXHIBIT BUILDING
SCALE: 1" = 5'-0"

REVISIONS	
09/02/2005	09/16/2013
12/12/2009	10/07/2014
02/18/2013	01/05/2015
03/22/2013	04/17/2015
04/12/2013	04/29/2015
07/01/2013	09/05/2015

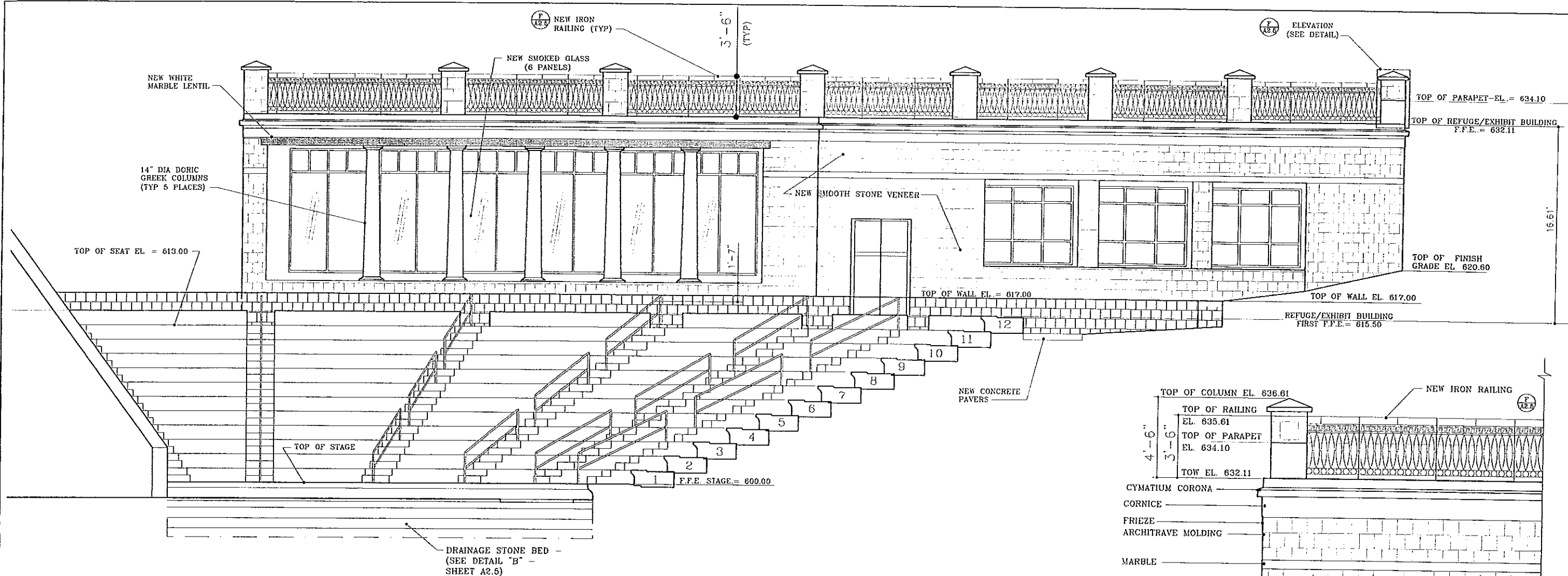
CENTER FOR HELLENIC STUDIES
PAIDEIA (UCONN)
DOG LANE
MANSFIELD, CONNECTICUT

ELEVATIONS
PROPOSED 1 OF 2
AS SHOWN 05/26/2008

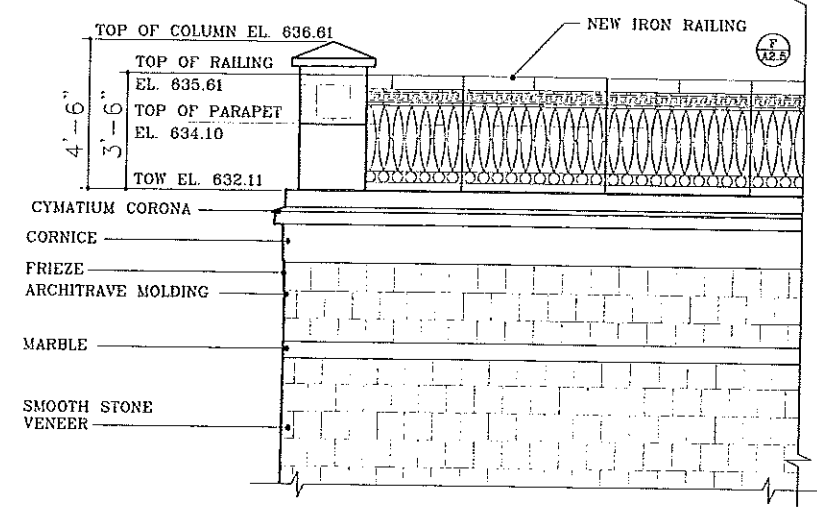
ARCHITECTURE
PLANNING
DEVELOPMENT
Stephan Noutsopoulos, AIA
322 West Main Street • New Britain, CT 06050
Office: 860.445.5000
Mobile: 860.445.5001
Email: snoutsopoulos@sgn.com



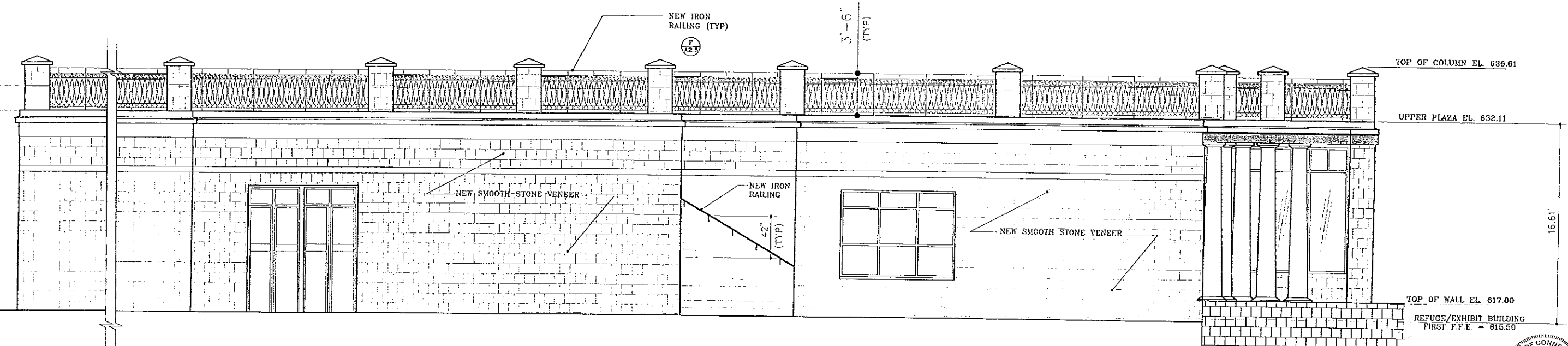
A2.2



A SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



C ELEVATION (DETAIL)
SCALE: 3/8" = 1'-0"



B NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	
09/02/2005	10/07/2014
12/12/2009	01/05/2015
02/18/2013	04/17/2015
03/22/2013	04/29/2015
04/12/2013	09/05/2015
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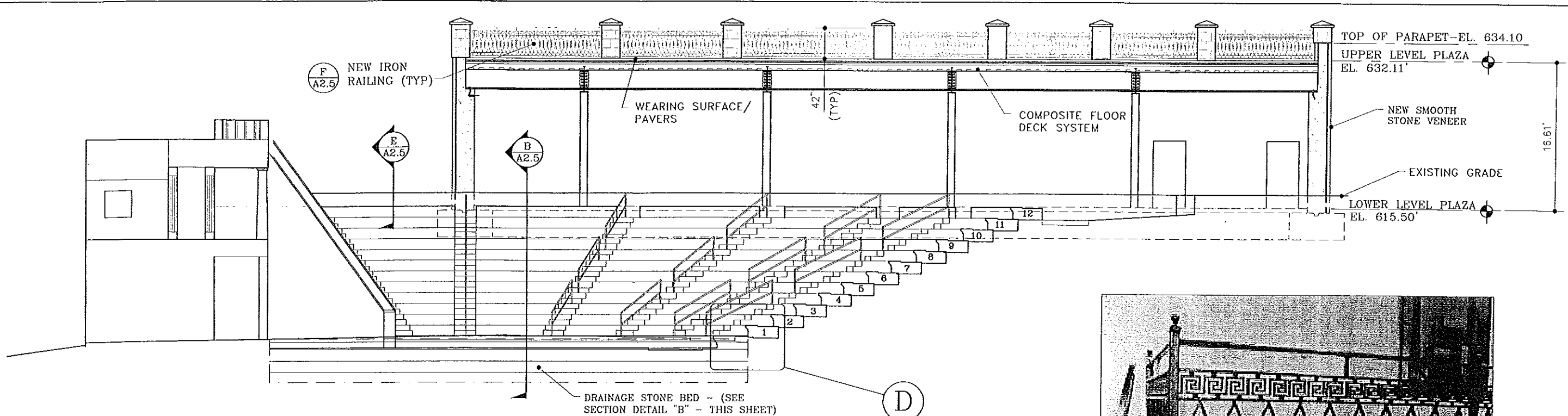
CENTER FOR HELLENIC STUDIES
PAIDEIA (UCONN)
DOG LANE
MANSFIELD, CONNECTICUT

ELEVATIONS
PROPOSED 2 OF 2
AS SHOWN 05/26/2008

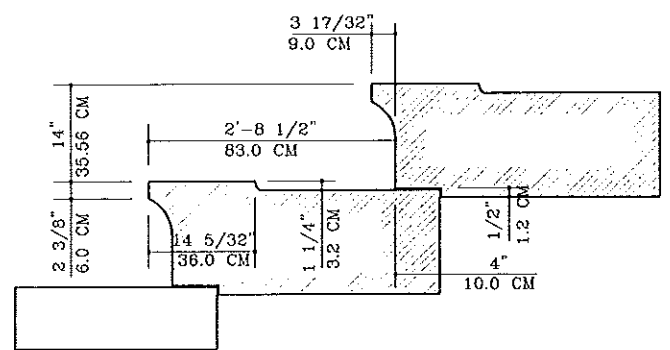
ARCHITECTURE
PLANNING
DEVELOPMENT
Stephan Nektarios, AIA
20 West Main Street • Norwich, CT 06250
email: stephan@stephanarchitect.com



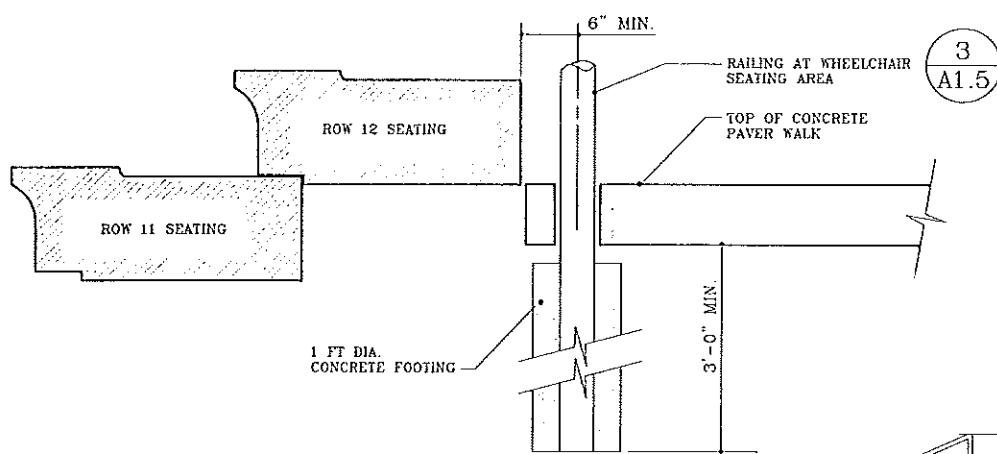
A2.4



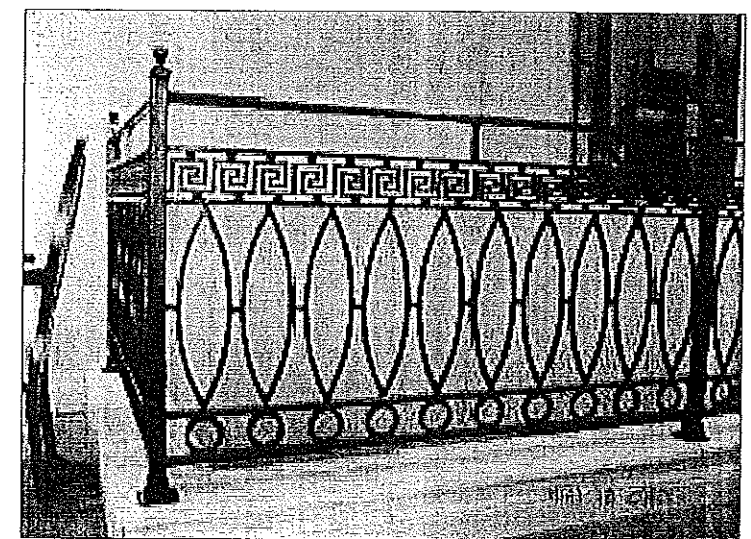
A SECTION/ELEVATION
SCALE: 3/16" = 1'-0"



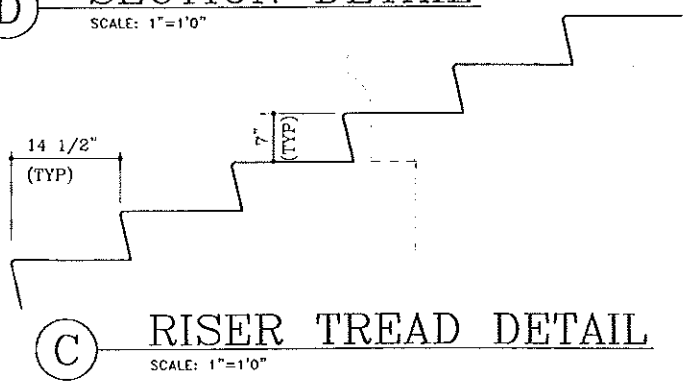
D SECTION DETAIL
SCALE: 1"=1'-0"



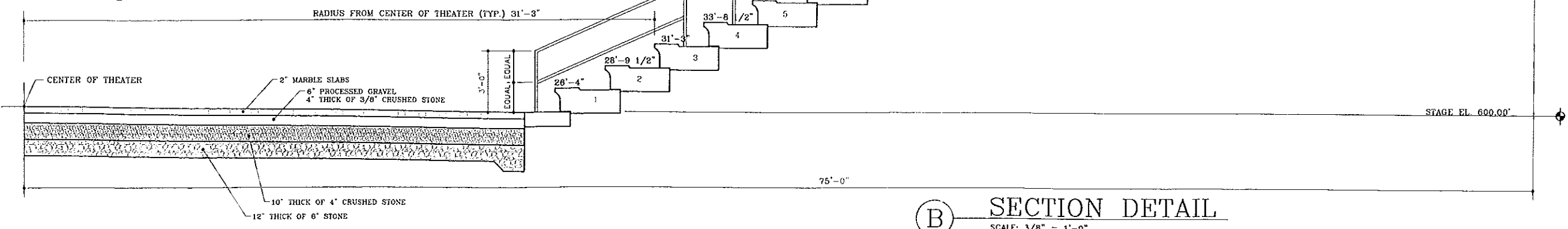
E SECTION DETAIL
SCALE: 1"=1'-0"



F IRON RAILING DETAIL
NOT TO SCALE



C RISER TREAD DETAIL
SCALE: 1"=1'-0"



B SECTION DETAIL
SCALE: 3/8" = 1'-0"

REVISIONS	
02/18/2013	04/17/2015
03/22/2013	09/05/2015
04/12/2013	
07/01/2013	
10/07/2014	
01/05/2015	

CENTER FOR HELLENIC STUDIES
PAIDEIA (UCONN)
DOG LANE
MANSFIELD, CONNECTICUT

SECTIONS AND DETAILS
AS SHOWN 05/26/2008

ARCHITECTURE
PLANNING
DEVELOPMENT
Stephen Neustopoulos, AIA
272 West Main Street • Norwich, CT 06250
Office: 860.842.2042
email: steven@sgnassociates.com

A2.5



TOWN OF MANSFIELD
DEPARTMENT OF PUBLIC WORKS



AUDREY P. BECK BUILDING
FOUR SOUTH EAGLEVILLE ROAD
MANSFIELD, CT 06268-2599

Engineering Division

From: Derek M. Dilaj, P.E., Assistant Town Engineer
To: Linda Painter, AICP, Town Planner
Copy: John Carrington, P.E., Town Engineer
Date: November 12, 2015
Date Received: November 2, 2015
Date Reviewed: November 10, 2015
Engineering Project #: E-141514
Re: Center for Hellenic Studies – Greek Theater – Paideia Center (UConn)
Designer: Stephan Nousiopoulos, Steve Economou, John Alexopoulos, Paul Tsakopoulos, PE
SGN Associates
372 West Main Street
Norwich, CT 06360
Plans: “Center for Hellenic Studies Paideia (UConn) Dog Lane Mansfield, Connecticut” 10 Sheets, stamped by Paul Tsakopoulos, PE
Dated: September 5, 2015

Sheet A0.1

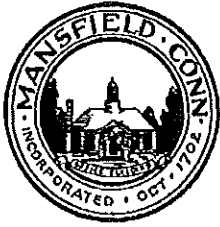
1. The detail for hay bales shall be changed to straw bales to minimize introduction of species into the adjacent wetlands.
2. The proposed sanitary sewer and domestic water connection is proposed to the University of Connecticut systems. Coordination shall be made to obtain permits from the University.
3. The applicant shall provide estimated wastewater flows from the proposed project.

Sheet A0.2

4. Grading from the existing parking area toward the stage would allow for sheet flow to the back staging area. The applicant shall amend the site plan to reduce this opportunity.
5. A detail needs to be provided indicating the material for the sidewalk and driveway apron for the access road.
6. The applicant shall file for a right-of-way permit prior to construction of the access road.
7. A bituminous or concrete driveway apron shall be provided within the town right-of-way.
8. Grading for the proposed rain garden is not presented and is not clear if an outlet is provided. Additional detail is necessary for complete review.
9. Grading at the southwestern portion of the site plan near the Hellenic Study Center appears to indicate possible ponding on the sidewalk. Please confirm positive drainage away from the Hellenic Study Center towards the proposed catch basin.

Sheet LA2.1

10. The applicant shall confirm the infiltration capacity of the existing soil to absorb runoff from the rain garden.



Town of Mansfield Mansfield Fire Department



To: Planning and Zoning Commission
From: Fran Raiola, Deputy Chief/Fire Marshal *FR*
CC: Linda Painter, Director of Planning
Date: May 5, 2015
Re: Paideia, Hellenic Society - Theater, 28 Dog Lane

PZC File #1049-7

After reviewing the revised plans dated April 29, 2015 for the above referenced project for compliance with the Town of Mansfield Regulations for Fire Lanes and Emergency Vehicle Access, I have the following comments.

1. The submitted revised plans meet the requirements for fire lanes and emergency vehicle access.
2. The scope of this review is for compliance with The Town of Mansfield Fire Lane Regulations to ensure adequate access for emergency vehicles only. The applicant is required to apply for a building permit and submit plans and specifications to the Building Department and the Office of the Fire Marshal, to determine compliance with Fire and Building codes.



PLANNING AND ZONING COMMISSION
TOWN OF MANSFIELD

AUDREY P. BECK BUILDING
FOUR SOUTH EAGLEVILLE ROAD
STORRS, CONNECTICUT 06268
(860) 429-3330

July 23, 2003

Mr. Ilios Tomazos, President
Hellenic Society Paideia
28 Dog Lane
Mansfield, CT 06268

Re: PZC determination regarding condition #5 of PZC approval for Greek amphitheatre, PZC file 1049-7

Dear Mr. Tomazos:


At a meeting held on July 21, 2003, the Mansfield Planning and Zoning Commission adopted the following motion:

"that the Planning and Zoning Commission has determined that the pre-construction requirements cited in condition #5 of its 9/3/02 special permit approval of a Greek amphitheatre project at 28 Dog Lane have been suitably addressed. This determination, which is subject to the conditions cited below, has been made after consideration of staff reports, verbal testimony from representatives of the applicant, and supplemental submissions of the applicant including revised plans, 3/11/03 and 7/14/03 letters from the Hellenic Society Paideia addressing approval conditions and the planned construction schedule, a 10/8/02 letter from D. Dreyfuss, UConn Vice-Chancellor for Business and Administration, a 12/17/02 letter from L. Schilling, UConn Executive Director of Architectural and Engineering Services, a 6/2/03 letter from Attorney L. George, a 7/12/03 letter from the quarry in Greece that will be supplying marble, and various letters from Greek organizations and contractors. Pursuant to this action and subject to other applicable conditions and regulatory requirements, the PZC Chairman is authorized to sign final plans and a special permit notice to be filed on the Land Records and the Zoning Agent is authorized to issue a zoning permit for the subject project. This authorization is subject to the following terms and conditions:

1. All other provisions of the PZC's 9/3/02 approval shall remain in effect and any proposed revisions to approved plans shall require subsequent PZC approval;
2. To help address any potential traffic safety issues, the PZC shall retain the right to reassess the applicants' traffic control plan after actual events have taken place and the right to incorporate, as deemed necessary, revisions to the traffic control plan. Before a zoning permit is issued, the applicant shall indicate in writing acceptance of this condition;
3. In the event that it is determined by the PZC that the approved development schedule is not being complied with or that the approved plans are not being followed, the PZC shall retain the right to order the applicant to cease all work onsite except for site stabilization and restoration work until construction schedule and/or plan revision issues have been suitably addressed. Before a zoning permit is issued, the applicant shall indicate in writing acceptance of this condition."

If you have any questions regarding this action, the Planning Office may be contacted by calling 429-3330. 1.

Very truly yours,


Katherine K. Holt, Secretary
Mansfield Planning & Zoning Commission



PLANNING AND ZONING COMMISSION
TOWN OF MANSFIELD

7099 3220 0800 8446 2295
AUDREY P. BECK BUILDING
FOUR SOUTH EAGLEVILLE ROAD
STORRS, CONNECTICUT 06268
(203) 429-3330

September 11, 2002

Mr. Elias Tomazos
Hellenic Society Paideia
28 Dog Lane, P.O. Box 818
Mansfield, CT 06268

Re: PZC approval of special permit for Greek theatre complex at 28 Dog Lane,
Mansfield, Connecticut (PZC file 1049-7)

Dear Mr. Tomazos:

At a regular meeting held on September 3, 2002, the Mansfield Planning and Zoning Commission adopted the following motion:

"to approve with conditions the special permit application (file #1049-7) of the Hellenic Society Paideia, Inc., for a theatre complex on property located at 28 Dog Lane, in an RAR-90 zone, as submitted to the Commission and shown on site, architectural and landscape plans revised through 4/11/02 and as described in the applicant's Statement of Use and other application submissions, and as presented at a Public Hearing on July 15, 2002. Approval is granted because the application as hereby approved is considered to be in compliance with Article V, Section B and other provisions of the Mansfield Zoning Regulations, and is granted with the following conditions:

1. The applicant's proposal specifies the site will be used for "educational and cultural events only." The subject site is within an RAR-90 zone and immediately adjacent to a Planned Business zone. Educational uses are permitted in the RAR-90 zone, subject to special permit approval. This special permit is granted expressly on the conditions that uses will only be for educational and cultural events, that no commercial uses shall be allowed, and that all uses must be sponsored by and all events managed by the applicant. Any questions regarding potential uses shall be reviewed in advance with the PZC.
2. To minimize neighborhood impact, the applicant shall be limited to five (5) performances a year where attendance exceeds or is reasonably estimated to exceed 150 people, unless specifically authorized otherwise by the PZC. Additional performances may be authorized by the PZC upon submittal of performance details, demonstration that previous events have been managed in accordance with this approval and that inappropriate neighborhood impact has not occurred.
3. The applicant has represented that amplification equipment will not be used, with the exception of individual headsets used to assist hearing-impaired individuals. This special permit is granted expressly on this condition.
4. All events must occur within daylight hours and lighting improvements shall be limited to those depicted on final plans. Only specifically approved security lighting shall be used during nighttime hours.

(con't.)



PLANNING AND ZONING COMMISSION
TOWN OF MANSFIELD

7099 3220 0800 8446 2295
AUDREY P. BECK BUILDING
FOUR SOUTH EAGLEVILLE ROAD
STORRS, CONNECTICUT 06268
(203) 429-3330

September 11, 2002

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Hellenic Society Paideia
28 Dog Lane, P.O. Box 818
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4. All events must occur within daylight hours and lighting improvements shall be limited to those depicted on final plans. Only specifically approved security lighting shall be used during nighttime hours.

(con't.)

5. Prior to the signing of final maps and filing of the special permit on the Land Records by the applicant, and prior to the issuance of any permit for site work or construction, the applicant shall provide the following to the PZC for approval:
- a. Written approval from UConn officials for the proposed water and sewer connections and use of parking facilities.
 - b. Documentation and evidence acceptable to the PZC that the entire project will be completed in a timely manner consistent with the time period provisions of Article XI, Section C.4.
 - c. A revised set of plans, signed and sealed by all responsible professionals that incorporate the following revisions:
 1. revised site lighting that incorporates lower wattage light fixtures on shorter poles and lighting details for the pedestrian area north of the amphitheatre wall;
 2. details of the proposed fountain in the lower plaza
 - d. A specific traffic control plan for construction activities, particularly the delivery of materials to the site. The plan shall direct all delivery vehicles to use State roads up to Dog Lane, and provisions shall be made to promote pedestrian and vehicular safety. This plan shall include notice to Mansfield's Resident State Trooper prior to the delivery of materials to the site;
 - e. A specific traffic control plan and event parking plan. Prior to the signing of final maps or the start of construction, applicants must submit for approval a final parking and traffic control plan that has been reviewed and accepted by Mansfield's Resident State Trooper. For all events where the onsite parking spaces will not be adequate to serve visitors, the applicant shall be responsible for coordinating the events with the Mansfield Resident State Trooper's office, the UConn Police Department and the UConn Parking and Transportation Department. Furthermore, the applicant shall be responsible for arranging and providing adequate personnel to implement vehicular and pedestrian traffic controls and help prevent unauthorized parking on roadways or nearby parking lots. The following suggestions, which are considered preliminary, should be considered in formulating a comprehensive traffic control and event parking plan;
 1. For events where attendance is reasonably anticipated to be under 150 persons, Paideia shall inform the Mansfield Resident Trooper and the University Police Department of the event in writing at least one week prior to the event;
 2. For events where attendance is reasonably anticipated to be 150 persons or over, Paideia shall abide by the following conditions:
 - a. Provide three-week written notice to the Mansfield Resident Trooper, the University Police and the Mansfield Town Planner. This notice shall contain a brief description of the event, an estimate of the number of attendees, and a parking plan in specific detail to accommodate all expected traffic. This notice must include written evidence that UConn has agreed to provide Paideia with all the parking services (such as parking lots and shuttle buses) required by Paideia for that specific event.
 - b. Employ adequate traffic control personnel, with at least one traffic control officer at the corner of Rt. 195 and Dog Lane and another in front of the Center before and after the performance, to ensure that the parking plan is implemented and to prevent any parking on neighboring roads, including Dog Lane and Willowbrook Road.

(con't.)

3. Written advertisements or promotional material distributed by Paideia must contain instructions on parking to assist attendees and Paideia in complying with the parking plan.
- f. g. Written approval from the Mansfield Public Works Department for proposed work within the Town right-of-way (stage access, driveway, etc.)

6. Due to neighborhood nuisance problems which may occur because of unauthorized uses of the property, the applicant shall be responsible for regularly monitoring the site to help prevent neighborhood impact problems;
7. Prior to any work on the site, a cash site restoration bond in the amount of \$15,000 with written bond agreement, shall be submitted to and approved by the PZC Chairman, with staff assistance;
8. Any proposed signage on the subject site shall require PZC review and approval;
9. Prior to the start of any site work or construction, the applicant shall be responsible for meeting all applicable Building and Fire Code provisions and obtaining a building permit. Particular attention shall be given to the adequacy of foundation and support components and meeting accessibility requirements, particularly to stage areas and to the interior exhibit area and toilet facilities. (See 7/10/02 and 12/12/01 letters from Mansfield's Advisory Committee on the Needs of Persons with Disabilities).
10. All construction activities may only be conducted between the hours of 7 a.m. to 7 p.m., Monday through Saturday. No construction activities are permitted on Sundays. Applicants must regularly inform neighbors of the status of construction efforts, including days when significant vehicular construction traffic is expected.
11. Prior to any use of the amphitheatre and the issuance of a Certificate of Compliance, all site work shall be satisfactorily completed. Based on the provisions of Article V, Section B.7.c., a variation of this condition may be authorized by the Commission where public health and safety components of the project have been satisfactorily completed.

This permit shall not become valid until the applicant obtains the permit form from the Planning Office and files it on the Land Records.

This approval waives several provisions of Article V, Section A.3.c, since the information submitted with the application is sufficient to evaluate the project with respect to applicable approval criteria. Additionally, this approval authorizes work within 50 feet of the easterly property line pursuant to Article VI, Section B.4.q.2, since proposed landscaping will provide a suitable buffer along the adjacent land owned by the University of Connecticut."

Please contact the Planning Office, 429-3330, to discuss these conditions of approval..

Very truly yours,

Kath K Holt

Katherine K. Holt, Secretary
Mansfield Planning & Zoning Commission

cc: S. Nousiopoulos

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<p>■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</p> <p>■ Print your name and address on the reverse so that we can return the card to you.</p> <p>■ Attach this card to the back of the mailpiece, or on the front if space permits.</p>		<p>A. Received by (Please Print Clearly) <i>PAIDEIA TOWARDS</i> B. Date of Delivery <i>9/15</i></p> <p>C. Signature <i>Maria Towards</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If YES, enter delivery address below:</p>	
1. Article Addressed to: <i>Paideia</i> <i>P.O. Box 818</i> <i>Mansfield, CT 06268</i>		3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.	
2. Article Number (Copy from service label) <i>7049 3220 00008446 2295</i>		4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes	

PS Form 3811, July 1999 Domestic Return Receipt 102595-00-M-0952

Mansfield PZC
Audrey P. Beck Municipal Building
4 South Eagleville Rd.
Mansfield, CT 06268

Dear Members of the PZC,

Please find attached a neighborhood petition intended to demonstrate our strong feelings regarding the Greek project on Dog Lane. When I attended the September 3 PZC meeting when the theater was last discussed (after a lengthy public hearing on the Marriott proposal), it was evident that the workload of the Commission cannot reasonably accommodate everyone who would wish to express an opinion on the project. It is hoped that this petition will serve as a substitute for each neighbor's personal participation and will therefore be a mutual convenience for the Commission and the neighbors who find it difficult to attend evening meetings. We remain united and committed in our concern for the well-being of our neighborhood and hope that this is effectively conveyed in the attached petition.

Thank you for your attention and the many hours of public service spent on this project.

Sincerely,


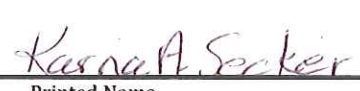

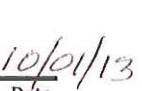
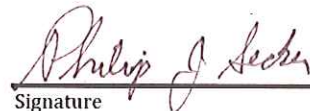
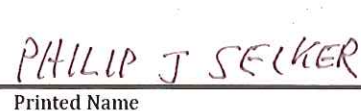




Suzanne Singer Bansal
67 Willowbrook Rd.
Storrs, CT 06268
Oct. 4, 2013

To the Members of the Mansfield Planning and Zoning Commission:

The following Dog Lane and Willowbrook Rd. homeowners wish to express several concerns regarding the on-going Paideia construction project. We urge the PZC to take the appropriate actions in order to protect our quality of life and our property values.

- 1) **We urge the PZC to deny Paideia's request for permission to use the theater before the whole construction project is complete, including the exhibit building, comprehensive landscaping, and the rebuilding (and PZC-mandated extension) of the stone wall that has been removed during construction.** We believe that permission to use the theater before total completion of the project will eliminate all incentive for Paideia to complete the project in the timeliest way possible.
- 2) Paideia has deviated from the approved construction plans on several occasions and has asked for PZC approval for the deviations long after the fact (most noteworthy is the approximate 90 degree rotation of the stage location). **We believe it is unacceptable for Paideia to willfully ignore the PZC approved plans, build what they wish, and then receive reluctant PZC approval for their violations simply because the work has already been done. We therefore request that the unapproved concrete columns that were constructed opposite the Willowbrook Rd. intersection be removed.** We urge the PZC to find a way to put a permanent stop to the violations, which have occurred incrementally over the years.
- 3) Dog Lane is a designated scenic road and the theater protrudes into a neighborhood setting. These two facts were paramount when, through the restrictions stipulated in their 2002 approval, the PZC protected the neighborhood against noise and light pollution, traffic and parking issues, unlimited frequency of theater use, evening use of the theater, and incongruent architectural elements and flourishes.
We urge the 2013 PZC to honor the protective intentions of the 2002 PZC while evaluating Paideia's newly proposed architectural plans.
- 4) **We request that intensive screening landscaping be undertaken as originally intended in the 2002 PZC approval.** In light of the neglect that left evergreens orange for over a year and a half, we believe allowances have to be made for landscaping that might be neglected in the future. Therefore, we believe that the dense plantings originally called for should be required. The berm has been allowed to weed-over. The evergreen ground cover originally approved for the berm should therefore also be required.
- 5) The concrete retaining wall of the theater, promised and PZC- approved to be faced with marble, is instead coated with a lime wash and now resembles a theme-park structure. **We request that the PZC require specific dense evergreen screening very close to (or on, as with ivy) the retaining wall in order to fully screen the concrete from sight. In addition, we request that in the event that Paideia chooses to face the wall in the future, PZC approval be mandatory and that the facing be in keeping with our scenic road and neighborhood setting.**

			
Signature	Printed Name	Street	Date
			
Signature	Printed Name	Street	Date

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- 3) Dog Lane is a designated scenic road and the theater protrudes into a neighborhood setting. These two facts were paramount when, through the restrictions stipulated in their 2002 approval, the PZC protected the neighborhood against noise and light pollution, traffic and parking issues, unlimited frequency of theater use, evening use of the theater, and incongruent architectural elements and flourishes.
We urge the 2013 PZC to honor the protective intentions of the 2002 PZC while evaluating Paideia's newly proposed architectural plans.
- 4) **We request that intensive screening landscaping be undertaken as originally intended in the 2002 PZC approval.** In light of the neglect that left evergreens orange for over a year and a half, we believe allowances have to be made for landscaping that might be neglected in the future. Therefore, we believe that the dense plantings originally called for should be required. The berm has been allowed to weed-over. The evergreen ground cover originally approved for the berm should therefore also be required.
- 5) The concrete retaining wall of the theater, promised and PZC- approved to be faced with marble, is instead coated with a lime wash and now resembles a theme-park structure. **We request that the PZC require specific dense evergreen screening very close to (or on, as with ivy) the retaining wall in order to fully screen the concrete from sight. In addition, we request that in the event that Paideia chooses to face the wall in the future, PZC approval be mandatory and that the facing be in keeping with our scenic road and neighborhood setting.**

 Veronica Helgans 123 Dog Lane 10/6/13
Signature Printed Name Street Date

Signature Printed Name Street Date

Frank Musiek FRANK MUSIEK 79 Dog Lane 9-26-13

Signature Printed Name Street Date

Shirle Musiek Shirle Musiek 79 Dog Lane 9-26-13

Signature Printed Name Street Date

Ronald Schurin RONALD SCHURIN 25 Willowbrook 9/27/13

Signature Printed Name Street Date

Suzanne Singer Bansal SUZANNE SINGER BANSAL 67 Willowbrook 9/27/13

Signature Printed Name Street Date

Anita Z. Leibowitz ANITA Z. LEIBOWITZ 28 Willowbrook Rd 9/22/13

Signature Printed Name Street Date

Emily Schurin EMILY SCHURIN 25 Willowbrook Rd 9/28/13

Signature Printed Name Street Date

Tina McCarthy Tina McCarthy 82 Willowbrook Rd 9/28/13

Signature Printed Name Street Date

Paul McCarthy (by Tina McCarthy) 82 Willowbrook Rd 9/28/13

Signature Printed Name Street Date

Jackie Sordani Jackie Sordani 31 Willowbrook Rd 9-28-13

Signature Printed Name Street Date

Jim Sordani (by Jackie Sordani) 31 Willowbrook Rd 9-28-13

Signature Printed Name Street Date

(28) WILLIAM STARK 47 Willowbrook Rd 9/28/13

Signature Printed Name Street Date

Suzanne Mello-Stark 47 Willowbrook Road 9/28/13

Signature Printed Name Street Date

Elizabeth Wardwell ELIZABETH F. WARDWELL 33 Oak Hill Rd 9-25-13

Signature Printed Name Street Date

Darren Cook Darren Cook 32 Oak Hill Rd 9/29/13

Signature Printed Name Street Date

Sharon Cook (by Darren Cook) Sharon Cook 32 Oak Hill Rd 9/29/13

Signature Printed Name Street Date

Timothy Cook 24 Willowbrook 9/29/13

RLH PETER MILLMAN 122 DOG LANE 10/1/13
Signature Printed Name Street Date

Mari E. Cantina (BY PETER MILLMAN) MARI E. CANTINA 122 DOG LANE 10/1/13
Signature Printed Name Street Date

Elizabeth N. Norris Elizabeth N. Norris 52 Willowbrook Rd. 10-1-13
Signature Printed Name Street Date

Lawrence B. Bohn 235 W. 11th St. 10-1-13
Signature Printed Name Street Date

James J. (Jen) S. Bohn James J. Bohn 85 Willowbrook 10-1-13
Signature Printed Name Street Date

Rajeev Bansal RAJEEV BANSAL 67 WILLOWBROOK 10-1-13
Signature Printed Name Street Date

Signature Printed Name Street Date

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* not a homeowner; has real estate interest

Next page →

THE LANDSCAPE PLAN SUBMITTED BY PAIDEIA AND APPROVED BY THE PZC

Throughout the application process the PZC gave careful attention to the impact the theater complex would have on the neighborhood surroundings. Much consideration was given to aesthetics, lighting, noise, and performance restrictions. Critical protections for the neighborhood were written into the PZC's approval. The PZC was careful to include landscaping as an integral feature of the project. Below is a summary of the landscape plan submitted by the Paideia Society when requesting PZC approval for the theater complex. This summary is derived from a memo to the PZC from Greg Padick, dated July 11, 2002, describing the various components of Paideia's submitted plans. A photocopy of the relevant section of the original memo is attached. On Sept. 3, 2002 the PZC approved Paideia's Special Permit application noting that approval was based on plans submitted, including the landscape plan below.

Specified heights are "at time of planting".

Between developed areas and Dog Lane:

13	8'-10'	Fraser fir trees
20	10' - 12'	white pine trees
15	8' -10'	Austrian pine trees
16	5' - 6'	red cedar trees
16	8' - 10'	arborvitae trees
10	3 - 3.5 "	caliper sugar maple trees
7	2 - 2.5"	caliper carmine crabapple trees

(note: the memo uses the *inches* " symbol for the maple and crabapple trees, though it is most likely a typo for the *feet* ' symbol.)

Also, on the berm:

400 winter creeper plantings (groundcover)

Near the dumpster area:

11 8' - 10' Austrian pines

Total: 98 evergreens (as totaled in the attached memo)

17 deciduous trees

400 winter creeper plantings

The plan also specifies the retention of the existing stone wall and construction of a new 3 ft. high stone wall along Dog Lane.

A cedar gate is specified for the stage access drive.

Submitted to the Mansfield PZC by Suzanne Singer Bansal

~~July 15, 2013~~ Sept. 3, 2013 SSS

The following excerpt describing Paideia's submitted landscape plan is from page four of a memo to the Planning & Zoning Commission from Gregory J. Padick, Town Planner, dated July 11, 2002.

Architecture/Design/Landscaping/Signage

- Reports are expected from Design Review Panel members and Fire Marshal.
- The submittal includes elevation plans and floor plans of the amphitheatre, stage, and refuge/bathroom area and some cross-section details. The amphitheatre plans are based on classical designs based on designs provided by the Greek government. Based on current application submissions, the amphitheatre seats are to be made of solid white marble with natural coloration. Retaining walls and the refuge/exhibit area exterior walls are to be concrete covered with white marble veneer with natural coloration; the floors of the upper and lower plazas will have a reddish paver surface; the dumpster enclosure will be of terra cotta-colored brick, and the stage will have white marble columns, a red clay tile roof and the wall facing the orchestra will be white marble with natural coloration. The orchestra floor will consist of white marble tiles cut in circular rings of grey and black. The applicant now has provided adequate information regarding the color and nature of building materials. No information has been provided on the new fountain in the lower plaza.
- The 7/10/02 report from the Mansfield Advisory Committee on the Needs of Persons with Disabilities raises a number of issues that should be referenced in any approval motion. Previously-identified site plan deficiencies have now been addressed.
- The submitted landscape plan includes the creation of a landscaped berm near the northeastern corner of the site. This berm, which will include areas about fourteen feet higher in elevation than Dog Lane immediately north of the berm, will be planted with winter creeper ground cover and thirteen 8 to 10-ft. (at time of planting) Fraser fir trees. Twenty 10 to 12-ft. tall white pine trees are proposed to the east and northeast of the amphitheatre. Fifteen 8-to 10-ft. high Austrian pine trees, sixteen 5- to 6-ft. high red cedar trees, sixteen 8- to 10-ft. high arborvitae trees, ten 3 to 3.5" caliper sugar maple trees and seven 2 to 2.5" caliper carmine crabapple trees are proposed between developed areas and Dog Lane. Eleven 8 to 10 foot high Austrian pines are proposed near the dumpster area east of the UConn service road. In total, the landscape plan includes 98 evergreen trees, 17 deciduous trees, 400 groundcover plantings (winter creeper) and lawn areas. The shifting of the amphitheatre wall away from Dog Lane has allowed for an expanded landscape area and more plantings than the previous submission. The landscape plan also includes the retention of an existing stone wall and construction of a new 3 ft.-high stone wall along Dog Lane. A cedar gate is planned for the stage access drive, which will not be available to the general public. A perspective drawing is provided to help assess views of the amphitheatre from the north. The PZC must determine that the landscaping is acceptable with respect to buffering and neighborhood impact criteria and the standards of Art. VI, Sec. B.4.q.
- Elements of the proposal also can be considered with respect to the approval standards of the Mansfield Scenic Road Ordinance, which only applies to the Town right-of-way. The stage access drive and stone wall work are within this area. Subject to a resolution of other issues, the Scenic Road elements are considered acceptable.
- No information has been submitted regarding proposed signs. This issue can be addressed in any approval motion.

Linda M. Painter

From: Jessie Richard
Sent: Thursday, November 12, 2015 3:42 PM
To: Linda M. Painter
Subject: FW: Quick Greek Theatre Question

From: Suzanne Bansal [mailto:ssbstorrs@snet.net]
Sent: Thursday, November 12, 2015 1:37 PM
To: PlanZoneDept <PlanZoneDept@MANSFIELDCT.ORG>; richardjl@mansfield.org
Subject: Quick Greek Theatre Question

PlanZoneDept@mansfieldct.org

Dear Linda,

I am very appreciative of the notice you sent to the Willowbrook Rd. neighbors regarding the upcoming discussion of the Greek theatre on Monday night. Thank you! I hope to be there.

In the meantime, I am wondering if this Paideia request is the same one they submitted in the fall of 2013? Since you mentioned in your memo that our neighborhood petition of Oct. 2013 would be distributed to members of the PZC, the implication is that it is. Just checking to make sure!

Thank you.

Suzanne Bansal

Jessie Shea

From: Meredith Poehlitz <meredith06268@yahoo.com>
Sent: Tuesday, September 03, 2013 12:02 PM
To: PlanZoneDept
Subject: comments on Greek Theater application

Hello PZC members,

I am unable to attend the meeting tonight, but would like to comment on an issue before you. I am a resident of Dog Lane who often walks and drives by the Greek Theater. It is an eyesore! I strongly urge you to deny the application to allow the site to begin performances before the project is completed. Not only is it a bit like allowing someone to move into a home before the CO has been issued, but the builders of the Greek Theater have already demonstrated that they will not follow through on their plans by their failure to complete and maintain the landscaping around the theater.

Once construction is complete, I urge you to continue to protect the neighborhood character--already heavily impacted by the construction of Storrs Center--by continuing to limit the time of day the theater is used, the noise the theater makes, the lighting the theater uses and the frequency that the theater hosts performances.

Thank you for your consideration and thank you for all your work and dedication to the town of Mansfield.

Sincerely,
Patricia (Meredith) Poehlitz
128 Dog Lane
Storrs, CT 06268

Jessie Shea

From: William Stark <william.stark@uconn.edu>
Sent: Sunday, September 01, 2013 6:17 PM
To: PlanZoneDept
Subject: Padeia Society theater use

Follow Up Flag: Flag for follow up
Flag Status: Flagged

Dear members of the PZA,

As a resident of the Willowbrook neighborhood I would like to bring to your attention several concerns that I think you need to address as you consider the Padeia Society's request to use their outdoor theater before the construction of the plaza/"area of refuge."

1. The request to use the theater before completion of the whole project should be unequivocally denied! Granting premature use of the theater would eliminate the urgency and incentive to complete the project in the timeliest way possible.
2. Before approving the project in 2002, the PZC gave serious and lengthy attention to the impact this project would have on the neighborhood. Their concerns included lighting, noise, appropriateness of design in the context of the neighborhood, performance frequency, time-of-day restrictions on use, parking, and landscaping, in addition to many other less conspicuous issues.
3. In 2002 the PZC approved only design features that were consistent with our neighborhood setting and rejected architectural ornamentation that was clearly out of character on Dog Lane, a "designated scenic road".
4. In 2002 the Paideia Society submitted a landscape plan that was noted by the PZC as a condition for project approval. The landscaping that has taken place falls very far short of what Paideia submitted and what the PZC approved. The neighborhood would like to see the whole landscape plan implemented before any further action takes place.*(Neighbors: please see the landscape summary below. In this email I have omitted "the attached photocopy", but the PZC will receive it. I will bring the particulars to the attention of the PZC on Monday night).*
5. The neighborhood still cares deeply about the issues addressed in the PZC's 2002 approval and it hopes that the current membership of the PZC will respect the conscientious work of both the PZC and the neighborhood that went into the approval process in 2002.

Respectfully yours,

William R. Stark

Jessie Shea

From: Richard Bass <rbass444@gmail.com>
Sent: Tuesday, September 03, 2013 10:47 AM
To: PlanZoneDept
Subject: paideia request

The Paideia Society has continually acted in bad faith during the construction of the theater. Time and again they have gone far outside the parameters of what was approved by the PZC. They should not have permission to begin using the theater until they have completed everything they said they were going to do. They are already many many years behind on the construction, and who knows how long it would be before they complete the landscaping. Holding up permission to use the theater until the landscaping is complete is the only leverage the town has.

Richard Bass
128 Dog Lane
Storrs CT 06268

Jessie Shea

From: Timothy Bell <Timothy.Bell@business.uconn.edu>
Sent: Monday, July 15, 2013 12:11 PM
To: PlanZoneDept
Subject: Construction on Dog Lane: Paideia Society

To the Planning and Zoning Commission,

I understand that the Paideia Society has requested a hearing for changes in their building permit and/or use permit for the theater that continues to be under construction.

I live down the street on Willowbrook Road, where I have owned a home for the past six year, and I have been a member of the Storrs/Mansfield community for the past seven years. Although I had the opportunity to live anywhere in Mansfield, I found the Willowbrook neighborhood compelling for its sense of local neighborhood community that I believe is unrivaled in Mansfield.

I would encourage the Planning and Zoning Commission to be extremely reticent to approve any changes that are not supported by a overwhelming majority of the Willowbrook/Dog Lane neighborhoods. This project has been a very long process that started long before I moved onto Willowbrook Road. I understand that there have been several changes from the original plan, some of which were executed before PZC approval (so that a denial would have required "deconstruction").

When I moved into the neighborhood, there was a neighborhood concern that the Paideia Society had little interest in working cooperatively and in good faith with their neighbors in their development project. I am more optimistic than some, but I suspect that there is evidence both for and against that view.

As a relative newcomer to the neighborhood, but also I believe a friend of a few members of the Paideia Community, I would encourage the Paideia Society to seek direct support from the neighborhood community for any change so that this relationship can get back to the more constructive community relationship that generally exists among the residential neighbors of Dog Lane and Willowbrook Road.

Until that improved relationship is in evidence, I would recommend that the PZC be extremely reluctant to approve any changes in either construction or use permits that are not strongly supported by the neighborhood. I believe such approvals will have an increasingly deleterious effect on community relations, which should be an important consideration for any changes to a previous compromise.

Sincerely,

Timothy Bell
24 Willowbrook Rd.
Mansfield, CT

Dear Members of the Mansfield PZC,

On behalf of the Willowbrook and Dog Lane neighborhoods I thank you for informing us of Paideia's recent request to begin using their theater before completing the adjoining exhibit area/upper plaza portion of the theater complex.

We urge you to reject this request.

We believe that permission to use the theater before completion of the complex would remove all incentive to finish this project in the timeliest way possible. This project has languished in our neighborhood for well over a decade. We would like to see it finished and do not believe that authorizing the use of the theater will lead to that end; nor do we believe there is any legitimate justification for requesting this permission.

Past experience has proved that the Paideia Society does not respond in good faith to PZC conditions on their requests. In April 2011 the Paideia Society requested permission to commence construction once again after it had been halted by the Town. The neighborhood requested that there be no further construction until the frontage along Dog Lane was cleaned up and landscaped according to the plans approved in 2002. The PZC supported this condition and approved Paideia's request. Subsequently, Paideia planted the area and *then totally neglected it*, allowing most of the evergreens to turn orange during the summer. The orange trees were allowed to stand until late this winter – over a year and a half after they had turned orange! It seems clear that Paideia lacks interest in the spirit of the law.

Furthermore, we are concerned with the unapproved construction of two columns (please see the attached photo) opposite the Dog Lane – Willowbrook intersection. As indicated in the text above the photo, the Zoning Agent verified that this pair of columns is nowhere to be found on the plans approved by the PZC. It is not the first time that Paideia has taken liberties with the approved plans (and asked for permission after the fact). Before approving Paideia's application for this project in 2002, the PZC made a sincere and concerted effort to protect the neighborhood from inappropriate ornamentation and design choices. Every effort was made to reduce the visual impact of this project. We are grateful for that and are disturbed that Paideia has constructed these columns, which are clearly and starkly out of context with the neighborhood surroundings. They are obtrusive and unnecessary. We sincerely hope that you will have Paideia remove these unauthorized structures. It is troubling to witness flagrant violations of the approved plan and dispiriting to see them tolerated.

Thank you for your time and consideration.

Sincerely,

Suzanne Singer Bansal
67 Willowbrook Rd.,
Storrs, CT 06268
June 10, 2013

This photo was taken from Dog Lane in November 2012.

In early Spring 2011 the PZC insisted that Paideia's landscape plans be implemented before any more construction took place. The trees and bushes pictured below were planted soon after the PZC's decision. The plantings were neglected once in the ground and started turning orange in the summer of 2011. This photo was taken more than a year after the trees turned orange.



S. Singer Bansal June 10, 2013

This photo was also taken from Dog Lane in November of 2012. In late summer or early fall of 2012 the two columns pictured were constructed. The columns were not on the construction plans approved by the PZC (verified by the Town's Zoning Agent). When the application for construction of the theater was approved in July 2002, the PZC took great pains to ensure that the character of both Dog Lane, a designated Scenic Road, and the Willowbrook Rd. neighborhood would not be impacted by jarring aesthetic and design choices. This unauthorized pair of columns is exactly what the PZC attempted to protect the neighborhood against.

Unfortunately, the printed version of this photo does not reveal that the two evergreen trees were orange from ground to tips until they were finally removed several weeks ago.



S. Singer Bansal June 10, 2013

Jessie Shea

From: Soroka,George L <GSOROKA@travelers.com>
Sent: Monday, June 17, 2013 12:33 PM
To: PlanZoneDept
Cc: Jen (jennifer.soroka@gmail.com)
Subject: Paideia Society Request

My name is George Soroka and I live at 85 Willowbrook Rd (corner of Willowbrook and Dog Lane). I've been told that one of the agenda items at tonight's meeting is to hear a request from the Society to gain permission to use the theater prior to the completion of the complex. I have other commitments this evening and will not be able to attend the meeting however I wanted to let you know that my wife Jennifer and I strongly oppose the idea of early use.

We've only been at 85 Willowbrook since August 2011. At the time we purchased the home we were concerned with appearance of the "empty lot" across the street from us on Dog Lane. We were told that there was a comprehensive plan in place to finish the project and that part of it involved extensive landscaping of the berm along Dog Lane. We've seen firsthand the sluggish pace at which the project has moved, including a half-hearted attempt to landscape the berm. We're concerned that allowing the Society to use the theater now will further delay (or possibly stop entirely) the completion of the project as it was originally planned.

Please consider denying their request.

Thank you
George Soroka

This communication, including attachments, is confidential, may be subject to legal privileges, and is intended for the sole use of the addressee. Any use, duplication, disclosure or dissemination of this communication, other than by the addressee, is prohibited. If you have received this communication in error, please notify the sender immediately and delete or destroy this communication and all copies.

Jessie Shea

From: Sheila Musiek <smusiek@yahoo.com>
Sent: Monday, June 10, 2013 11:13 PM
To: PlanZoneDept
Subject: Paidia's theater

I am writing to you because we will be in Sweden and can not attend the Monday night meeting. The Paidia theater needs to be finished and landscaped before they start using it for shows and concerts or it will never be done. It is an eyesore in it's present state of neglect. The trees that were stuck in the ground have mostly died and weeds are everywhere. It truly looks like Greece. Plans have been changed, commitments and rules ignored, and we have a mess waiting to be cleaned up and finished and turned into a delightful, unique theater. As the town grows and becomes a destination, we want our neighborhood to look finished, groomed and a part of the new Storrs.

thank you,
Sheila Musiek



Town of Mansfield



CURT B. HIRSCH
ZONING AGENT
HIRSCHCB@MANSFIELDC.T.ORG

AUDREY P. BECK BUILDING
4 SOUTH EAGLEVILLE ROAD
MANSFIELD, CT 06268-2599
(860) 429-3341

To: Planning & Zoning Commission
From: Curt B. Hirsch, Zoning Agent
Date: November 10, 2015

Re: Beacon Hill Estates, Section II, PZC file # 1214-3

On March 4, 2013, the PZC approved Beacon Hill Estates, Section II. This is a 17-lot subdivision with a new, 1,490-foot, dead-end road (Wyllys Farm Road) and associated drainage work, a common driveway serving three lots, a walking trail through the development that connects to an existing trail system in Section I and also to a future trailhead on existing town-owned open space, and other public improvements. In a 11/8/15 letter to Linda Painter, the developer Francis Halle, has stated that the required public improvements have been completed and inspected by town staff, and he is requesting that the Commission approve the acceptance of Wyllys Farm Road and the reduction of the posted development bond to an amount necessary to establish a one-year maintenance bond. We have a certification from the developer's surveyor that all monumentation and conservation markers have been installed per the approved subdivision plans. The other documents required under the subdivision approval have been filed on the land record.

My inspection revealed the following:

- The built trail is marked with placards at several 'trail heads' where the trail intersects with the new road and the common driveway. A few additional placards should be posted along the interior portions of the trails route. I have spoken to the developer about this and he is in agreement.
- The Assistant Town Engineer and I have agreed with the developer, that the final completion of the common driveway could be delayed until the first house served by the common driveway is built. Delaying completion would permit trucks and equipment to pass over the driveway during construction without damaging a finished product. I wouldn't recommend postponing driveway construction beyond the first house, because at that point we're no longer dealing just with the developer. The driveway has been roughed out and the initial gravel course is in place for the common portions. The completion will require a final top course of processed gravel and the installation of a paved apron at the intersection with Wyllys Farm Road. The Assistant Town Engineer is reviewing the cost of completing this work and separate funds should be withheld from the existing to accomplish this work. A revised bond agreement will be necessary.
- A STOP bar needs to be painted on Wyllys Farm Road at the intersection with Beacon Hill Drive. A stop sign is in place.

The Assistant Town Engineer is preparing a separate report for the PZC's review. Having discussed the road acceptance with him, I don't believe that there will be any significant "unfinished items" that can't be rolled into the one-year maintenance bond. I recommend **that the Planning & Zoning Commission report to the**

Town Council that Wyllys Farm Road (Beacon Hill Estates, Section II) is now ready to be accepted as a Town road. Upon Town Council acceptance of this new road, the PZC Chairman, with staff assistance, is authorized to execute a one-year maintenance bond pursuant to regulatory requirements and this action. This action authorizes the PZC Chairman, with staff assistance, to draft revised bonding agreements, which will 1) Provide for a one-year maintenance bond and 2) assure the completion of the common driveway, the specific amount to be determined by the Assistant Town Engineer, and to release to the developer any funds no longer required for this subdivision.

TOWN OF MANSFIELD
DEPARTMENT OF PUBLIC WORKS



AUDREY P. BECK BUILDING
FOUR SOUTH EAGLEVILLE ROAD
MANSFIELD, CT 06268-2599

Engineering Division

From: Derek M. Dilaj, P.E., Assistant Town Engineer
To: Planning & Zoning Commission
Copy: John Carrington, P.E., Town Engineer
Date: November 12, 2015
Re: Beacon Hill Estates, Section II, PZC File #1214-3

This letter is in response to a request made by the developer, Francis Halle, for the commission to recommend to the Town Council approval and acceptance of Wyllys Farm Road as part of the Town's roadway network. The Engineering division has made periodic inspections of the public improvements made for the subdivision during construction and found the work to be generally in accordance with the Town of Mansfield Public Improvement Standards and the approved subdivision plan. The Planning Department is in receipt of a certification from the developer's surveyor that all monumentation and conservation markers have been installed per the approved subdivision plans.

On November 2, 2015 I completed a walkthrough of the project area and noted several outstanding items:

- The driveway apron for the common driveway is not completed in accordance with the Town of Mansfield Public Improvement Standards. In concurrence with the Zoning Agent, this driveway apron shall be installed at a date prior to Certificate of Occupancy issued for the first home on the common driveway.
- Completion of processed gravel and curtain drain for the common driveway.
- A stop bar shall be painted prior to the intersection with Beacon Hill Drive.
- "As-Built" survey provided to the Engineering Division

I recommend the Planning & Zoning Commission consider maintaining a bond in the amount of \$20,000 for work not yet complete, separate from the one-year maintenance bond and report to the Town Council that Wyllys Farm Road (Beacon Hill Estates, Section II) is prepared to be accepted as a Town Road.

Spring Hill Properties, LLC

November 8, 2015

Ms. Linda Painter, Town Planner
Planning & Zoning Office
Town of Mansfield
Mansfield, CT 06238

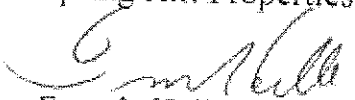
Re: Road Acceptance/Bond Reduction- Beacon Hill Estates Section II

Dear Linda:

We have completed the improvements set forth in the Subdivision Approval of Beacon Hill Estates Section II, and would like to proceed to acceptance of the road and related improvements by the Town of Mansfield, as well as reduction of our bond to the level of a maintenance bond. In preparation for this request, we met and completed a final walk thru with Curt Hirsch and Derek Dalij.

It is my understanding that this request is a Planning & Zoning Agenda item, and if such is the case, please schedule this matter with Planning & Zoning and let me know when this request will be heard. If there is anything else that I need to do to move this through the process, please let me know?

Very truly yours,
Spring Hill Properties, LLC


Francis Halle, Manager

AMENDMENT TO BONDING AGREEMENT

This Agreement is entered into on this 10th day of February, 2015, between the Town of Mansfield, CT, by its Planning & Zoning Commission (PZC) and Spring Hill Properties, LLC, (Developer).

Recitals:

- A. On March 4, 2013, the PZC approved with conditions a seventeen lot subdivision named Beacon Hill Estates, Section II, on Mansfield City Road, west of Beacon Hill Road, Mansfield CT.
- B. On November 22, 2013, the Developer entered into a bonding agreement with the Town of Mansfield in accordance with Connecticut General Statutes section 8-25, Section 14.2 of the Subdivision Regulations of the Town of Mansfield, and Article VI, Section C.2. of the Zoning Regulations of the Town, rather than completing the subdivision improvements that are the responsibility of the subdivider as required by said March 4, 2013 approval or accepting a conditional approval of said subdivision. As part of that bonding agreement, the Developer provided a perpetual and irrevocable Letter of Credit (LOC) in the amount of \$511,200 from the Rockville Bank of Vernon, CT and a cash bond of \$56,800.
- C. On November 17, 2014, the PZC acknowledged completion of certain subdivision improvements and reduced the total bond amount needed to complete remaining improvements from \$568,000 to \$155,077.50. Pursuant to this action, the irrevocable Letter of Credit may be reduced to \$139,569.75 and the cash bond reduced to \$15,507.75.

The Parties Agree:

- 1. The foregoing **Recitals** are incorporated herein as part of this Bonding Agreement.
- 2. The Finance Director of the Town of Mansfield shall return \$41,292.25 and accumulated interest pursuant to the November 22, 2013 bonding agreement to the Developer.
- 3. The Developer agrees that said revised cash bond of \$15,507.75 (plus accumulated interest) shall remain in place and in combination with said companion Letter of Credit originally issued by Rockville Bank in the amount of \$511,200.00 and hereby reduced to \$155,077.50 until March 3, 2018 for all subdivision improvements, including the Sedimentation and Erosion Control Plan, as per the Subdivision Regulations and to ensure that all other subdivision improvements are successfully addressed by said Developer to the satisfaction of the proper officials of the Town of Mansfield, whereupon said companion letter of Credit will be released, and said cash bond with accumulated interest will be returned to the Developer.
- 4. If the Developer fails to complete satisfactorily any necessary work required in association with this Agreement by March 3, 2018, or in the event any public safety or sediment and erosion control problems are not remedied within 48 hours on notice to the Developer, the Town shall have the right, without interference from the Developer, to retain the services of a Contractor to implement the required work, including sediment and erosion controls, and in such event the cost thereof and related Bonding Agreement expenses shall be paid from the cash bond retained pursuant to paragraph 3, above. Said process shall be accomplished in a summary manner without further notice to the Developer.

5. This Bonding Agreement is accompanied by said Letter of Credit from Rockville Bank. The PZC is further authorized to obtain funds secured by said Letter of Credit for non-compliance with conditions of approval, approved plans and specifications or any other provision of this Bonding Agreement.
6. When all necessary work is completed to the satisfaction of the PZC, the Finance Director of the Town of Mansfield shall forthwith deliver to the Developer any funds not utilized pursuant to this Agreement.
7. The subject bond shall earn interest at the rate equal to one-half per cent less than the average rate of return on the State Treasurer's Investment Fund. (STIF).

Signed, Sealed and Delivered
in the Presence of:

DEVELOPER: SPRING HILL PROPERTIES, LLC

Kevin Selders
Carl B. Hume

By: [Signature]
Fagnas J. Halle

TOWN OF MANSFIELD

Carl B. Hume
Kevin Selders

By: Bonnie F. Ryan Bonnie F. Ryan,
JoAnn Goodwin, Chair, Planning and Zoning Commission
acting chair

By: _____

Cheryl A. Trahan, Director of Finance



Town of Mansfield

Department of Planning and Development

Date: November 12, 2015
To: Planning and Zoning Commission
From: Linda M. Painter, AICP, Director of Planning and Development
Subject: Appointment of Zoning Enforcement Officers

In response to resident concerns, staff has been reviewing ways in which we could enhance enforcement of regulations related to the maximum number of unrelated individuals that can live in a dwelling. One option that has been identified is the potential use of existing code enforcement and housing inspectors to assist in this effort. Approval of the motion below would authorize two existing part-time housing inspectors to enforce regulations related to use, occupancy and maintenance of dwellings should sufficient funding be identified.

_____ MOVES, _____ seconds to appoint **Benjamin D. Funk, Code Enforcement Officer; Patrick S. Enright, Housing Inspector; and Mark D. Holland, Housing Inspector; as Deputy Zoning Agents for the purpose of enforcing Zoning Regulations related to the use, occupancy and maintenance of dwellings and associated property.**



Town of Mansfield

Department of Planning and Development

Date: November 12, 2015
To: Planning and Zoning Commission
From: Linda M. Painter, AICP, Director of Planning and Development
Subject: 2016 Draft Meeting Schedule

Please review the attached 2016 draft meeting schedule for the Planning and Zoning Commission. Also note that several meeting dates are on alternate days due to Monday holidays.

As noted in my memo on your biennial by-law review, staff would like to discuss potential changes to meeting times and/or days for the Commission. If the Commission makes any changes to the by-laws in this regard, the attached schedule and approval motion would also need to be adjusted.

Draft Motion

The following motion has been prepared if members deem it appropriate:

_____ **MOVES,** _____ **seconds to approve the 2016 meeting schedule for the Planning and Zoning Commission.**

Mansfield Planning and Zoning Commission 2016 Meeting Schedule

The Mansfield Planning and Zoning Commission generally meets on the 1st and 3rd Monday of the month at 7:00 p.m. in Council Chambers unless otherwise noted. The following are specific meeting dates for 2016. Agendas will be posted 24 hours before the meeting. This schedule is subject to change.

- January 4, 2016
- January 19, 2016 (**TUES** due to Martin Luther King Jr. Day)
- February 1, 2016
- February 16, 2016 (**TUES** due to Presidents Day)
- March 7, 2016
- March 21, 2016
- April 4, 2016
- April 18, 2016
- May 2, 2016
- May 16, 2016
- June 6, 2016
- June 20, 2016
- July 5, 2016 (**TUES** due to July 4th Holiday)
- July 18, 2016
- August 1, 2016
- August 15, 2016
- September 6, 2016 (**TUES** due to Labor Day)
- September 19, 2016
- October 6, 2016 – (**THU** due to Rosh Hashanah)
- October 17, 2016
- November 7, 2016
- November 21, 2016
- December 5, 2016
- December 19, 2016



Town of Mansfield

Department of Planning and Development

Date: November 12, 2015
To: Planning and Zoning Commission
From: Linda M. Painter, AICP, Director of Planning and Development
Subject: Director's Report

If there are any other items or questions, I will address them at the November 16th meeting.

Staffing

Initial interviews for the Assistant Planner position are scheduled with an external panel for Thursday, November 12th. Finalists will be brought back for a second interview with me; we are still hoping to have Curt's replacement start prior to his last day of work in December.

Mansfield Tomorrow

- *POCD* – The Plan has been posted on-line and we are working on getting hard copies printed for both the Commission and Town Council.
- *Zoning and Subdivision Regulations* – The Commission has identified several regulatory changes to be moved forward in advance of the overall rewrite. A meeting of the Regulatory Review Committee is being scheduled for the week of November 16th to discuss these items.

Economic Development

- *Brownfield Redevelopment Planning (BAR) Program* – Given the deadline for submission of proposals, we have decided not to submit an application for the Depot Campus during this round. We will be working with UConn to prepare an application for the next round. This will give town and UConn staff time to more specifically identify the subject of the application and work with Town commissions and committees.

Housing

- *Ad Hoc Committee on Rental Housing Regulations and Enforcement*. As noted in my memo on committee appointments, the Town Council has created an Ad Hoc Committee on Rental Housing Regulations and Enforcement and invited the PZC to appoint 3 members to the committee. This committee will be reviewing regulations related to rental housing, both those adopted by the Council and those adopted by the Commission and recommending changes to those regulations as may be appropriate.

Infrastructure

- *Infrastructure Subcommittee* – A meeting of the Subcommittee on Infrastructure Needs is being scheduled for the week of November 16th to discuss the following:
 - Request for sidewalk extension along North Eagleville Road between Northwood Road and Southwood Road and between Southwood Road and Bone Mill Road.
 - Potential projects for the State's Local Transportation Capital Improvement Program (LOTICIP); grant applications are due in January.

UConn

- *Master Plan.* As the UConn Campus Master Plan comes up on its first anniversary, I think it would be interesting to have a presentation from UConn staff on the status of the plan and upcoming projects. As this may be of interest to the Town Council as well as other commissions and committees, we will have to determine the best way to schedule such a presentation.
- *Hockey Rink.* Both the Hartford Courant and the Daily Campus have reported on the possibility of expanding the existing Freitas arena and continuing to play several games in Hartford in lieu of constructing a new arena on campus. I will continue to update the Commission as information becomes available.
- *South Campus Development.* The Daily Campus has reported and UConn staff have confirmed that the honors residence hall originally including in the scoping for the South Campus Development is on hold and will not be included in the upcoming South Campus Development EIE.
- *Student Recreation Center.* UConn has announced that the new student recreation center will be located on Hillside Road at the site of the Connecticut Commons residence hall, which will be demolished to accommodate the new facility. UConn has indicated that demolition of the residence halls would not occur until the new STEM residence hall is open.